

Council Assessment Panel Agenda & Reports

21 August 2023

Our Vision

*A City which values its heritage, cultural diversity,
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable
and socially cohesive, with a strong community spirit.*

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067

Telephone 8366 4555
Email townhall@npsp.sa.gov.au
Website www.npsp.sa.gov.au
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City of
Norwood
Payneham
& St Peters

16 August 2023

To all Members of the Council Assessment Panel:

- Mr Terry Mosel (Presiding Member)
- Ms Jenny Newman
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Christel Mex

NOTICE OF MEETING

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in the Council Chambers, Norwood Town Hall, 175 The Parade, Norwood, on:

Monday 21 August 2023, commencing at 7.00pm.

Please advise Kate Talbot on 8366 4562 or email ktalbot@npsp.sa.gov.au if you are unable to attend this meeting or will be late.

Yours faithfully



Geoff Parsons
ASSESSMENT MANAGER

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067

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City of
Norwood
Payneham
& St Peters

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VENUE Council Chambers, Norwood Town Hall

HOUR

PRESENT

Panel Members

Staff

APOLOGIES

ABSENT

1. **COMMENCEMENT AND WELCOME**
2. **APOLOGIES**
3. **CONFIRMATION OF THE MINUTES OF THE SPECIAL MEETING OF THE COUNCIL ASSESSMENT PANEL HELD ON 15 AUGUST 2023**
4. **DECLARATION OF INTERESTS**

5. DEVELOPMENT APPLICATIONS – PDI ACT

5.1 DEVELOPMENT NUMBER 23012869 – GOSIA ZEBROWSKA-BOGUSZ – 44 TORRENS STREET, COLLEGE PARK

| | |
|---------------------------------|---|
| DEVELOPMENT NO.: | 23012869 |
| APPLICANT: | Gosia Zebrowska-Bogusz |
| ADDRESS: | 44 TORRENS ST COLLEGE PARK SA 5069 |
| NATURE OF DEVELOPMENT: | Alterations and additions to an existing dwelling comprising the construction of a front entry verandah and the extension of an existing rear pergola |
| ZONING INFORMATION: | <p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Traffic Generating Development • Urban Tree Canopy • Water Resources • Airport Building Heights (Regulated) • Character Area • Hazards (Flooding) <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m) • Minimum Site Area (Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm) • Maximum Building Height (Levels) (Maximum building height is 2 levels) • Minimum Side Boundary Setback (Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher) • Site Coverage (Maximum site coverage is 50 per cent) |
| LODGEMENT DATE: | 15 May 2023 |
| RELEVANT AUTHORITY: | Assessment panel at the City of Norwood, Payneham and St. Peters |
| CATEGORY OF DEVELOPMENT: | Code Assessed - Performance Assessed |
| NOTIFICATION: | Yes |
| REFERRALS STATUTORY: | Nil |
| REFERRALS NON-STATUTORY: | Nil |

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| | | | |
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| ATTACHMENT 4: | Representation Map | | |

DETAILED DESCRIPTION OF PROPOSAL:

There are two elements to the proposal, as detailed below.

Front Entry Roof

An existing deteriorated roof over the front entrance to the dwelling is proposed to be replaced with a new roof structure. A new timber stud wall is proposed alongside the side boundary of the allotment to support the new roof structure.

The roof extends approximately four (4) metres out from the dwelling, with the supporting wall extending out further, to approximately seven (7) metres and corresponding with the length of the wall of the adjoining dwelling. The roof structure is 1.2m high commencing at 3.45m above floor level, giving a total height of 4.65m.

Rear Pergola Extension

An existing pergola at the rear of the dwelling is proposed to be extended out 4.4 metres, for a width of 11.3m. The pergola extension matches the height of the existing pergola, at 4.2m above floor level and approximately 4.5m above ground level on the adjoining property.

The pergola is proposed to comprise 300x300mm columns and bulkhead with a painted render finish and treated timber rafters. Insect screens are proposed between the columns.

BACKGROUND:

The Council was advised by the owner of the adjoining property that building works were being undertaken on the subject land. The Council's Compliance Officer - Planning Services inspected the land and observed that the front verandah and rear pergola had been constructed as advised. Photographs of what was observed are provided below.

Photograph 1. Front Entry Roof



Photograph 2. Rear Pergola Extension



Both the front entry roof replacement and the rear pergola extension constitute development for which development approval is required. Exclusions from the definition of development include:

“other than in respect of a local heritage place, the repair, maintenance or internal alteration of a building—

- a) that does not involve demolition of any part of the building (other than the removal of fixtures, fittings or non load-bearing partitions); and*
- b) that will not adversely affect the structural soundness of the building or the health or safety of any person occupying or using it.”*

“the construction of a pergola or similar structure designed to provide shade associated with an existing dwelling (whether attached to the building or freestanding)—

- (i) which does not have a solid roof; and*
- (ii) each freestanding side of which is open (that is, not enclosed with a solid material); and*
- (iii) no part of which is higher than 4 m above the ground; and*

(iv) which is not being constructed so that any part of the pergola or structure will be in front of any part of the building line of the dwelling to which it is ancillary that faces the primary street.”

The front entry roof does not satisfy the exclusion because the previous roof structure was replaced in its entirety, rather than being repaired without demolition of structural elements. The pergola extension does not satisfy the exclusion because it is higher than 4m above the ground, at 4.35m above the ground. Therefore, the owner of the land is in breach of the *Planning, Development and Infrastructure Act (2016)*, having undertaken development without having obtained Development Approval.

The owner of the subject land subsequently lodged Development Application 23012869 (which is the subject of this report), seeking to regularise the breach.

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 44 TORRENS ST COLLEGE PARK SA 5069

Title ref.: CT
5892/107

Plan Parcel: D61344
AL701

Council: THE CITY OF NORWOOD PAYNEHAM AND
ST PETERS

The subject land is an irregular shape allotment with a frontage of approximately six (6) metres to Torrens Street, widening out to approximately thirty three (33) metres at the rear. It contains a semi-detached dwelling, which was constructed together with the adjoining semi-detached dwelling at 44A Torrens Street twenty years ago in 2003.

Locality

The subject land is bounded by Twelftree Reserve to the south, the River Torrens Linear Park to the rear and the property containing the adjoining semi-detached dwelling to the north at 44A Torrens Street.

The locality has a high level of amenity, resulting from low density development with established character homes and well vegetated public open space areas.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Verandah: Code Assessed - Performance Assessed
Other - Residential - Pergola: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code

PUBLIC NOTIFICATION

- **REASON**

The pergola is proposed on an allotment boundary and has a post height in excess of 3.2 metres measured from the lower of the natural or finished ground level. The proposed post height (ie. to the underside of the bulkhead) is approximately 3.95 metres above ground level on the adjoining property.

- **LIST OF REPRESENTATIONS**

| Given Name | Family Name | Address | Position on Application | Wishes To Be Heard |
|------------|-------------|----------------------------|-------------------------|--------------------|
| David | Aslop | 219 Sturt Street, Adelaide | Opposed | Yes |

- **SUMMARY**

1. The height of the structures creates visual impact on Mr Aslop's property;
2. The extent of boundary development is almost 70% of the western boundary which is excessive and above the 45% contemplated in the DTS / DPF 7.1;
3. The pergola height exceeds the three (3) metre maximum wall height contemplated in DTS / DPF 11.1;
4. The building heights proposed are not compatible with other ancillary structures within the locality.

AGENCY REFERRALS

Nil

INTERNAL REFERRALS

Nil

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

The below assessment deals only with the pergola extension at the rear of the dwelling. There are no planning impacts associated with the replacement of the front entry roof, as the new roof structure has ostensibly the same appearance as the structure it replaced. It is understood that Mr Aslop has a concern with the manner in which the structure was built, insofar as it may rely on the boundary wall of his dwelling for support. That is not how it is proposed in this application and in any event is not a planning consideration. Rather this is a consideration relevant to a building consent assessment.

Boundary Development Impact

The proposed pergola extends 3.1 metres beyond the boundary wall of the dwelling at 44A Torrens Street. In other words, occupants of 44A Torrens Street would only see 3.1m length of the proposed pergola.

The pergola is tall, at 4.2m above floor level and up to 4.5m above ground level on the neighbouring property. With insect screens installed between the columns, it is a reasonably imposing and solid looking structure which occupies much of the remaining boundary between the boundary wall and the rear boundary, therefore limiting visual outlook for the occupants of 44A Torrens Street to the rear and northern

side boundary. In this way, the proposal is somewhat inconsistent with Performance Outcome 7.1 and 11.1 of the Established Neighbourhood Zone, which respectively state:

“Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.”

and

“Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties”

Literal interpretations of these two policies do not address the visual impact of the proposed pergola on the occupants of 44A Torrens Street, because:

- a) in the case of PO 7.1, the pergola is not a dwelling wall (ie. it is not part of the dwelling and is not technically a wall); and
- b) PO 11.1 relates to how ancillary structures detract from the appearance of buildings on neighbouring properties, not the amenity experienced by people on adjoining properties.

Despite these literal interpretations, in a practical sense these policies in combination provide a framework which makes the visual impact of the proposed pergola to occupants of 44A Torrens Street relevant.

In considering whether the impact is reasonable or otherwise, it is also relevant to consider:

1. What development could occur on the boundary ‘as of right’ without development approval; and
2. The policy implications of the dwelling being one of a pair of semi-detached dwellings.

As of Right Development

As outlined in the background section of this report, the *Planning, Development and Infrastructure (General) Regulations 2017* specifies that pergolas are able to be constructed without development approval, provided that they meet certain pre-conditions. One of those pre-conditions is that the height does not exceed 4 metres measured from ‘ground level’. Another pre-condition is that each freestanding side of the pergola is ‘open’, although no definition is provided for the term ‘open’.

The Environment Resources and Development Court has acknowledged that development which is able to occur ‘as of right’ should be viewed as a conservatively acceptable form of development.

Therefore, when considering the impact of the proposed development, it is relevant to compare the impact of the proposed 4.5m high (above ground level) pergola with crime safe insect screen ‘walls’ with a 4.0m high pergola with an open side.

Semi-Detached Dwellings

The dwellings at 44 and 44A Torrens Street were approved in 2002 via DA 155/71/2002 as a pair of semi-detached dwellings, meaning that they are one building comprising two dwellings. Typically, this means they share footings and a parti wall.

The representor’s Planning Consultant has suggested that the proposal is inconsistent with Designated Performance Feature 7.1 because the combined length of all development on the boundary between 44 and 44A Torrens Street exceeds 45% of the length of the boundary. However, the part of DPF 7.1 which refers to this 45% criteria is not relevant to the proposal. DPF 7.1 states:

DTS/DPF 7.1

Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:

(a)

| Minimum Side Boundary Setback |
|--|
| Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher |

or

(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:

- (i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
- (ii) side boundary walls do not:
 - A. exceed 3.2m in height from the lower of the natural or finished ground level
 - B. exceed 8m in length
 - C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
 - D. encroach within 3m of any other existing or proposed boundary walls on the subject land.

Since a boundary setback value is returned in part (a), part (b) is not relevant. This would ordinarily mean that dwellings should not incorporate boundary walls and that all dwelling walls should be at least 1.5m from boundaries. However, the Established Neighbourhood Zone anticipates semi-detached dwellings and by definition, semi-detached dwellings have parti walls along the shared boundary. Therefore, in a practical sense, DPF 7.1 is relevant only to setbacks from the southern side boundary of the allotment, shared with Twelftree Reserve.

This approach is reinforced through DPF 7.2 which states:

“Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.”

In effect, in the case of semi-detached dwellings, the Code sets more stringent criteria for development adjacent to the ‘outside’ boundaries than it does for the inside boundary between the pair of semi-detached dwellings.

On balance, considering the extent to which a pergola is able to be constructed as of right and the policy context for semi-detached dwellings, the length and height of the proposed structure on the boundary is considered reasonable. That said, the construction detail of the infill insect screens is important to ensure that the structure does not appear as a solid wall from the adjoining property. In particular, the screens should be installed at least 150mm inside the boundary (ie. centrally within the 300mm columns), so as to create a sense of relief and openness. If the Panel determines to grant consent, it is recommended that this be imposed as a condition.

Water Resources Overlay

Being located adjacent to the River Torrens, the subject land is located within the Water Resources Overlay. The desired outcomes of this overlay are:

“Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.”

and

“Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.”

Designated Performance Feature 1.5 of the Water Resources Overlay states:

“A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.”

The rear boundary of the subject land is located at the top of the bank of the River Torrens. Therefore, the pergola extension is within 20 metres of the top of the bank, contrary to DPF 1.5. The Performance Outcome associated with DPF 1.5 is:

“Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:

- a) reduce the impacts on native aquatic ecosystems*
- b) minimise soil loss eroding into the watercourse.”*

As the proposed pergola extension does not have a roof, it does not increase surface water run-off and therefore does not have the potential to contribute to soil erosion.

CONCLUSION

The proposed front entry roof replaces an existing structure with the same appearance and therefore has no relevant planning implications.

The proposed rear pergola structure is only visible from the neighbouring property for a length of 3.1 metres, however is tall and has the potential to be visually imposing. That said, a pergola which can be built without approval (ie. 4.0m high) also has the potential to be visually imposing and the impacts of boundary development between a pair of semi-detached dwellings can be expected to a greater extent than in other situations.

Provided that the insect screens are inset from the boundary, on balance the proposal is reasonably consistent with the Planning and Design Code.

RECOMMENDATION

It is recommended that the Council Assessment Panel/SCAP resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
2. Development Application Number 23012869, by Gosia Zebrowska-Bogusz is granted Planning Consent subject to the following conditions and notes:

CONDITIONS

Planning Consent

1. The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. The insect screens of the pergola shall be installed a minimum of 150mm inside the property boundary.

ADVISORY NOTES

Planning Consent

Advisory Note 1

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

Advisory Note 2

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 3

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

Advisory Note 4

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections) will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 5

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to

recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

Advisory Note 6

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

Advisory Note 7

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 8

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 9

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

44 TORRENS ST COLLEGE PARK SA 5069

Address:

Click to view a detailed interactive [SAIL5](#) in SAILIS

To view a detailed interactive property map in SAPPa click on the map below



Property Zoning Details

| | |
|------------------------------|---|
| Zone | Established Neighbourhood |
| Overlay | Airport Building Heights (Regulated) (<i>All structures over 110 metres</i>) Character Area (<i>NPSPC4</i>) Hazards (Flooding) Hazards (Flooding - General) Prescribed Wells Area Regulated and Significant Tree Stormwater Management Traffic Generating Development Urban Tree Canopy Water Resources |
| Local Variation (TNV) | Minimum Frontage (<i>Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m</i>) Minimum Site Area (<i>Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm</i>) Maximum Building Height (Levels) (<i>Maximum building height is 2 levels</i>) Minimum Side Boundary Setback (<i>Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher</i>) Site Coverage (<i>Maximum site coverage is 50 per cent</i>) |

Development Pathways

■ Established Neighbourhood

1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Building work on railway land
- Internal building work
- Partial demolition of a building or structure
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Verandah
- Water tank (above ground)
- Water tank (underground)

2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Carport
- Temporary accommodation in an area affected by bushfire
- Verandah

3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Demolition
- Detached dwelling
- Dwelling addition
- Fence
- Group dwelling
- Land division
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Tree-damaging activity
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns. |
| DO 2 | Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers. |

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Land Use and Intensity | |
| PO 1.1 Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood. | DTS/DPF 1.1 Development comprises one or more of the following: <ul style="list-style-type: none"> (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Office (f) Recreation area (g) Shop. |
| PO 1.2 Commercial activities improve community access to services are of a scale and type to maintain residential amenity. | DTS/DPF 1.2 A shop, consulting room or office (or any combination thereof) satisfies any one of the following: |

| | |
|---|---|
| | <ul style="list-style-type: none"> (a) it is located on the same allotment and in conjunction with a dwelling where all the following are satisfied: <ul style="list-style-type: none"> (i) does not exceed 30% of the total floor area of the associated dwelling (excluding any garage or carport) or 50m² gross leasable floor area, whichever is the lesser (ii) does not involve the display of goods in a window or about the dwelling or its curtilage (b) it reinstates a former shop, consulting room or office in an existing building (or portion of a building) and satisfies one of the following: <ul style="list-style-type: none"> (i) the building is a State or Local Heritage Place (ii) is in conjunction with a dwelling and there is no increase in the gross leasable floor area previously used for non-residential purposes (c) is located more than 500m from an Activity Centre and satisfies one of the following: <ul style="list-style-type: none"> (i) does not exceed 100m² gross leasable floor area (individually or combined, in a single building) where the site does not have a frontage to a State Maintained Road (ii) does not exceed 200m² gross leasable floor area (individually or combined, in a single building) where the site has a frontage to a State Maintained Road (d) the development site abuts an Activity Centre and all the following are satisfied: <ul style="list-style-type: none"> (i) it does not exceed 200m² gross leasable floor area (individually or combined, in a single building) (ii) the proposed development will not result in a combined gross leasable floor area (existing and proposed) of all shops, consulting rooms and offices that abut the Activity Centre in this zone exceeding the lesser of the following: <ul style="list-style-type: none"> A. 50% of the existing gross leasable floor area within the Activity Centre B. 1000m². |
| <p>PO 1.3</p> <p>Non-residential development sited and designed to complement the residential character and amenity of the neighbourhood.</p> | <p>DTS/DPF 1.3</p> <p>None are applicable.</p> |
| <p>PO 1.4</p> <p>Non-residential development located and designed to improve community accessibility to services, primarily in the form of:</p> <ul style="list-style-type: none"> (a) small scale commercial uses such as offices, shops and consulting rooms (b) community services such as educational establishments, community centres, places of worship, pre-schools, childcare and other health and welfare services (c) services and facilities ancillary to the function or operation of supported accommodation or retirement facilities (d) open space and recreation facilities. | <p>DTS/DPF 1.4</p> <p>None are applicable.</p> |
| <p>PO 1.5</p> <p>Expansion of existing community services such as educational establishments, community facilities and pre-schools in a manner which complements the scale of development envisaged by the desired outcome for the neighbourhood.</p> | <p>DTS/DPF 1.5</p> <p>Alteration of or addition to existing educational establishments, community facilities or pre-schools where all the following are satisfied:</p> <ul style="list-style-type: none"> (a) set back at least 3m from any boundary shared with a residential land use (b) building height not exceeding 1 building level (c) the total floor area of the building not exceeding 150% of the total floor area prior to the addition/alteration (d) off-street vehicular parking exists or will be provided in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number. |
| <p>Site Dimensions and Land Division</p> | |

| <p>PO 2.1</p> <p>Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.</p> | <p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <p>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</p> <table border="1" style="width: 100%; margin-left: 20px;"> <tr> <th style="text-align: center;">Minimum Site Area</th> </tr> <tr> <td>Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm</td> </tr> </table> <p>and</p> <p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <table border="1" style="width: 100%; margin-left: 20px;"> <tr> <th style="text-align: center;">Minimum Frontage</th> </tr> <tr> <td>Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m</td> </tr> </table> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</p> | Minimum Site Area | Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm | Minimum Frontage | Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m |
|--|--|-------------------|---|------------------|--|
| Minimum Site Area | | | | | |
| Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm | | | | | |
| Minimum Frontage | | | | | |
| Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m | | | | | |
| <p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p> | <p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Established Neighbourhood Zone DTS/DPF 2.1, with 10% reduction in minimum site area where located in a Character Area Overlay or Historic Area Overlay</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <p style="margin-left: 20px;">(i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</p> <p style="margin-left: 20px;">(ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p> | | | | |
| Site coverage | | | | | |
| <p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p> | <p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table border="1" style="width: 100%; margin-left: 20px;"> <tr> <th style="text-align: center;">Site Coverage</th> </tr> <tr> <td>Maximum site coverage is 50 per cent</td> </tr> </table> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer to the Site</p> | Site Coverage | Maximum site coverage is 50 per cent | | |
| Site Coverage | | | | | |
| Maximum site coverage is 50 per cent | | | | | |

| | |
|--|--|
| | Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development. |
|--|--|

Building Height

| PO 4.1 Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings. | DTS/DPF 4.1 Building height (excluding garages, carports and outbuildings) is no greater than: <ul style="list-style-type: none"> (a) the following: <table border="1" style="margin: 5px auto; width: 80%; border-collapse: collapse;"> <tr> <th style="text-align: center; padding: 2px;">Maximum Building Height (Levels)</th> </tr> <tr> <td style="padding: 2px;">Maximum building height is 2 levels</td> </tr> </table> (b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m. In relation to DTS/DPF 4.1, in instances where: <ul style="list-style-type: none"> (c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development. (d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other. | Maximum Building Height (Levels) | Maximum building height is 2 levels |
|---|---|----------------------------------|-------------------------------------|
| Maximum Building Height (Levels) | | | |
| Maximum building height is 2 levels | | | |

| | |
|---|--|
| PO 4.2 Additions and alterations do not adversely impact on the streetscape character. | DTS/DPF 4.2 Additions and alterations: <ul style="list-style-type: none"> (a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or (b) meet all of the following: <ul style="list-style-type: none"> (i) do not include any development forward of the front façade building line (ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building. |
|---|--|

Primary Street Setback

| | |
|---|---|
| PO 5.1 Buildings are set back from primary street boundaries consistent with the existing streetscape. | DTS/DPF 5.1 The building line of a building is set back from the primary street boundary: <ul style="list-style-type: none"> (a) at least the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment) (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), not less than the setback to the building line of that building or (c) in all other cases, no DTS/DPF is applicable. |
|---|---|

Secondary Street Setback

| PO 6.1 Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character. | DTS/DPF 6.1 Building walls are set back from the secondary street boundary (other than a rear laneway): <ul style="list-style-type: none"> (a) no less than: <table border="1" style="margin: 5px auto; width: 80%; border-collapse: collapse;"> <tr> <th style="text-align: center; padding: 2px;">Minimum Side Boundary Setback</th> </tr> <tr> <td style="padding: 2px;">Minimum side boundary setback is 1.5m for the first building level; 3m for</td> </tr> </table> | Minimum Side Boundary Setback | Minimum side boundary setback is 1.5m for the first building level; 3m for |
|--|---|-------------------------------|--|
| Minimum Side Boundary Setback | | | |
| Minimum side boundary setback is 1.5m for the first building level; 3m for | | | |

| | Minimum Side Boundary Setback | | |
|---|---|-------------------------------|--|
| | any second building level or higher | | |
| | or | | |
| | (b) 900mm, whichever is greater | | |
| | or | | |
| | (c) if a dwelling on any adjoining allotment is closer to the secondary street, the distance of that dwelling from the boundary with the secondary street. | | |
| | In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero. | | |
| Boundary Walls | | | |
| PO 7.1 Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties. | DTS/DPF 7.1 Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below: <p>(a)</p> <table border="1" style="width: 100%; margin-left: 20px;"> <tr> <th style="text-align: center;">Minimum Side Boundary Setback</th> </tr> <tr> <td style="padding: 5px;"> Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher </td> </tr> </table> or <p>(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <ul style="list-style-type: none"> (i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height (ii) side boundary walls do not: <ul style="list-style-type: none"> A. exceed 3.2m in height from the lower of the natural or finished ground level B. exceed 8m in length C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary D. encroach within 3m of any other existing or proposed boundary walls on the subject land. | Minimum Side Boundary Setback | Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher |
| Minimum Side Boundary Setback | | | |
| Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher | | | |
| PO 7.2 Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character. | DTS/DPF 7.2 Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1. | | |
| Side Boundary Setback | | | |
| PO 8.1 Buildings are set back from side boundaries to provide: <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours. | DTS/DPF 8.1 Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary: <p>(a) no less than:</p> <table border="1" style="width: 100%; margin-left: 20px;"> <tr> <th style="text-align: center;">Minimum Side Boundary Setback</th> </tr> <tr> <td style="padding: 5px;"> Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher </td> </tr> </table> <p>(b) in all other cases (i.e. there is a blank field), then:</p> <ul style="list-style-type: none"> (i) at least 900mm where the wall is up to 3m | Minimum Side Boundary Setback | Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher |
| Minimum Side Boundary Setback | | | |
| Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher | | | |

| | |
|--|---|
| | <ul style="list-style-type: none"> (ii) other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m (iii) at least 1.9m plus 1/3 of the wall height above 3m for south facing walls. |
| Rear Boundary Setback | |
| <p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. | <p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level. |
| Appearance | |
| <p>PO 10.1</p> <p>Garages and carports are designed and sited to be discrete and not dominate the appearance of the associated dwelling when viewed from the street.</p> | <p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m. |
| <p>PO 10.2</p> <p>The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p> | <p>DTS/DPF 10.2</p> <p>None are applicable.</p> |
| Ancillary buildings and structures | |
| <p>PO 11.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p> | <p>DTS/DPF 11.1</p> <p>Ancillary buildings and structures:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> (i) 500mm behind the building line of the dwelling to which they are ancillary or (ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street (e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural |

| | <p>ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling</p> <ul style="list-style-type: none"> (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour. (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> (i) a total area as determined by the following table: <table border="1" style="margin: 10px auto; border-collapse: collapse; text-align: center;"> <thead> <tr style="background-color: #0056b3; color: white;"> <th style="padding: 5px;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="padding: 5px;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><150</td> <td style="padding: 5px;">10%</td> </tr> <tr> <td style="padding: 5px;">150-200</td> <td style="padding: 5px;">15%</td> </tr> <tr> <td style="padding: 5px;">201-450</td> <td style="padding: 5px;">20%</td> </tr> <tr> <td style="padding: 5px;">>450</td> <td style="padding: 5px;">25%</td> </tr> </tbody> </table> (ii) the amount of existing soft landscaping prior to the development occurring. | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | <150 | 10% | 150-200 | 15% | 201-450 | 20% | >450 | 25% |
|--|---|--|----------------------------|------|-----|---------|-----|---------|-----|------|-----|
| Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | | | | | | | | | | |
| <150 | 10% | | | | | | | | | | |
| 150-200 | 15% | | | | | | | | | | |
| 201-450 | 20% | | | | | | | | | | |
| >450 | 25% | | | | | | | | | | |
| <p>PO 11.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p> | <p>DTS/DPF 11.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. | | | | | | | | | | |
| Advertisements | | | | | | | | | | | |
| <p>PO 12.1</p> <p>Advertisements identify the associated business activity, and do not detract from the residential character of the locality.</p> | <p>DTS/DPF 12.1</p> <p>Advertisements relating to a lawful business activity associated with a residential use do not exceed 0.3m² and mounted flush with a wall or fence.</p> | | | | | | | | | | |

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

| Class of Development (Column A) | Exceptions (Column B) |
|---|--------------------------|
| 1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development. | None specified. |

| | |
|---|---|
| <p>2. All development undertaken by:</p> <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. | <p>Except development involving any of the following:</p> <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay. |
| <p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. | <p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment). |
| <p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. | <p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment). |
| <p>5. Any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. | <p>None specified.</p> |
| <p>6. Demolition.</p> | <p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay. |

None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| Built Form | |
| PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome. | DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable. |
| PO 1.2 Exhaust stacks are designed and sited to minimise plume impacts on aircraft movements associated with a certified or registered aerodrome. | DTS/DPF 1.2 Development does not include exhaust stacks. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|--|---|---|---|
| Any of the following classes of development: (a) building located in an area identified as 'All | The airport-operator company for the relevant airport within the meaning of the <i>Airports Act</i> | To provide expert assessment and direction to the relevant authority on potential impacts | Development of a class to which Schedule 9 clause 3 item 1 of the Planning, |

| | | | |
|---|---|---|--|
| (b) structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> . | 1996 of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth. | on the safety and operation of aviation activities. | Development and Infrastructure (General) Regulations 2017 applies. |
|---|---|---|--|

Character Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Valued streetscape characteristics and development patterns are reinforced through contextually responsive development, design and adaptive reuse that responds to the attributes expressed in the Character Area Statement. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| All Development | |
| PO 1.1 All development is undertaken having consideration to the valued attributes expressed in the Character Area Statement. | DTS/DPF 1.1 None are applicable. |
| Built Form | |
| PO 2.1 The form of new buildings and structures that are visible from the public realm are consistent with the valued streetscape characteristics of the character area. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Development is consistent with the prevailing building and wall heights in the character area. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) are consistent with the prevailing characteristics in the character area. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the character area. | DTS/DPF 2.4 None are applicable. |
| PO 2.5 Materials are either consistent with or complement those within the character area. | DTS/DPF 2.5 None are applicable. |
| Alterations and Additions | |

| | |
|---|--|
| PO 3.1 Additions and alterations do not adversely impact on the streetscape character. | DTS/DPF 3.1 Additions and alterations: (a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or (b) meet all of the following: (i) do not include any development forward of the front façade building line (ii) any side or rear extensions are no closer to the side boundary than the existing building (iii) do not involve the construction or alteration of a second or subsequent building level. |
| PO 3.2 Adaptive reuse and revitalisation of buildings to retain local character consistent with the Character Area Statement. | DTS/DPF 3.2 None are applicable. |
| Ancillary Development | |
| PO 4.1 Ancillary development, including carports, outbuildings and garages, complements the character of the area and associated building(s). | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s). | DTS/DPF 4.2 None are applicable. |
| PO 4.3 Advertising and advertising hoardings are located and designed to complement the building, be unobtrusive, be below the parapet line, not conceal or obstruct significant architectural elements and detailing, or dominate the building or its setting. | DTS/DPF 4.3 None are applicable. |
| PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the of the associated building. | DTS/DPF 4.4 None are applicable. |
| Land Division | |
| PO 5.1 Land division creates allotments that are: (a) compatible with the surrounding pattern of subdivision in the character area (b) of a dimension to accommodate buildings of a bulk and scale that reflect existing buildings and setbacks in the character area. | DTS/DPF 5.1 None are applicable. |
| Context and Streetscape Amenity | |
| PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevalent width of existing driveways in the character area. | DTS/DPF 6.1 None are applicable. |
| PO 6.2 Development maintains the valued landscape pattern and characteristics that contribute to the character area, except where they compromise safety, create nuisance, or impact adversely on existing buildings or infrastructure. | DTS/DPF 6.2 None are applicable. |

Character Area Statements

| Statement# | Statement |
|--|-----------|
| Character Areas affecting City of Norwood, Payneham and St Peters | |

| Statement# | Statement | | | | | | | | | | | | | | | | |
|--------------------------|---|--|---|---|---|---|---|-----------------|--|-----------|--------------------------------|---------|--|---|--|--------------------------|-------------------------|
| NPSPC4 | <p>St Peters/Joslin/Royston Park Character Area Statement (NPSP-C4)</p> <p>The Character Area Overlay identifies localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.</p> <p>The preparation of a Contextual Analysis can assist in determining potential additional attributes of a Character Area where these are not identified in the below table.</p> | | | | | | | | | | | | | | | | |
| | <table border="1"> <tr> <td>Eras, themes and context</td> <td> <p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached dwellings. Semi-detached dwellings in St Peters and College Park.</p> </td> </tr> <tr> <td>Allotments, subdivision and built form patterns</td> <td>Original, pre-1940s land division patterns.</td> </tr> <tr> <td>Architectural styles, detailing and built form features</td> <td> <p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p> </td> </tr> <tr> <td>Building height</td> <td>Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage).</td> </tr> <tr> <td>Materials</td> <td>Varied, traditional materials.</td> </tr> <tr> <td>Fencing</td> <td> <p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p> </td> </tr> <tr> <td>Setting, landscaping, streetscape and public realm features</td> <td> <p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p> <p>Some limited advertising and signage which complements scale and architecture of associated buildings.</p> </td> </tr> <tr> <td>Representative Buildings</td> <td><i>[Not identified]</i></td> </tr> </table> | Eras, themes and context | <p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached dwellings. Semi-detached dwellings in St Peters and College Park.</p> | Allotments, subdivision and built form patterns | Original, pre-1940s land division patterns. | Architectural styles, detailing and built form features | <p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p> | Building height | Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage). | Materials | Varied, traditional materials. | Fencing | <p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p> | Setting, landscaping, streetscape and public realm features | <p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p> <p>Some limited advertising and signage which complements scale and architecture of associated buildings.</p> | Representative Buildings | <i>[Not identified]</i> |
| | Eras, themes and context | <p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached dwellings. Semi-detached dwellings in St Peters and College Park.</p> | | | | | | | | | | | | | | | |
| | Allotments, subdivision and built form patterns | Original, pre-1940s land division patterns. | | | | | | | | | | | | | | | |
| | Architectural styles, detailing and built form features | <p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p> | | | | | | | | | | | | | | | |
| | Building height | Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage). | | | | | | | | | | | | | | | |
| | Materials | Varied, traditional materials. | | | | | | | | | | | | | | | |
| | Fencing | <p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p> | | | | | | | | | | | | | | | |
| | Setting, landscaping, streetscape and public realm features | <p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p> <p>Some limited advertising and signage which complements scale and architecture of associated buildings.</p> | | | | | | | | | | | | | | | |
| Representative Buildings | <i>[Not identified]</i> | | | | | | | | | | | | | | | | |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Hazards (Flooding) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

| | |
|------|---|
| DO 1 | Impacts on people, property, infrastructure and the environment from high flood risk are minimised by retaining areas free from development, and minimising intensification where development has occurred. |
|------|---|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| Land Division | |
| PO 1.1 Land division is limited to areas where the consequences to buildings and safety are low and can be readily managed or overcome. | DTS/DPF 1.1 None are applicable. |
| Land Use | |
| PO 2.1 Development sited and designed to minimise exposure of people and property to unacceptable flood risk. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Buildings housing vulnerable people, community services facilities, key infrastructure and emergency services are sited away from flood prone areas to enable uninterrupted operation of services and reduce likelihood of entrapment. | DTS/DPF 2.2 Pre-schools, educational establishments, retirement and supported accommodation, emergency services facilities, hospitals and prisons are not located within the Overlay area. |
| Flood Resilience | |
| PO 3.1 Development avoids the need for flood protection works. | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Development does not cause unacceptable impacts on any adjoining property by the diversion of flood waters or an increase in flood velocity or flood level. | DTS/DPF 3.2 None are applicable. |
| PO 3.3 Development does not impede the flow of floodwaters through the allotment or the surrounding land, or cause an unacceptable loss of flood storage. | DTS/DPF 3.3 None are applicable. |
| PO 3.4 Development avoids frequently flooded or high velocity areas, other than where it is part of a flood mitigation scheme to reduce flood impact. | DTS/DPF 3.4 Other than a recreation area, development is located outside of the 5% AEP principal flow path. |
| PO 3.5 Buildings are sited, designed and constructed to prevent the entry of floodwaters in a 1% AEP flood event where the entry of floodwaters is likely to result in undue damage to, or compromise ongoing activities within, buildings. | DTS/DPF 3.5 Buildings comprise one of the following: <ul style="list-style-type: none"> (a) a porch or portico with at least 2 open sides (b) a verandah with at least 3 open sides (c) a carport or outbuilding with at least 2 open sides (whichever elevations face the direction of the flow) (d) any post construction with open sides (e) a building with a finished floor level that is at least 300mm above the height of a 1% AEP flood event. |

| | |
|--|---|
| PO 3.6 Fences do not unreasonably impede floodwaters. | DTS/DPF 3.6 A post and wire fence (other than a chain mesh fence). |
| Environmental Protection | |
| PO 4.1 Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building during a 1% AEP flood event to avoid potential environmental harm. | DTS/DPF 4.1 Development involving the storage or disposal of hazardous materials is wholly located outside of the 1% AEP flood plain or flow path. |
| PO 4.2 Development does not create or aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood. | DTS/DPF 4.2 None are applicable. |
| Site Earthworks | |
| PO 5.1 The depth and extent of filling required to raise the finished floor level of a building does not cause unacceptable impact on any adjoining property by diversion of flood waters, an increase in flood velocity or flood level, or an unacceptable loss of flood storage. | DTS/DPF 5.1 None are applicable. |
| PO 5.2 Driveways, access tracks and parking areas are designed and constructed to minimise excavation and filling. | DTS/DPF 5.2 Filling for ancillary purposes: (a) does not exceed 300mm above existing ground level (b) is no more than 5m wide. |
| Access | |
| PO 6.1 Development does not occur on land: (a) from which evacuation to areas not vulnerable to flood risk is not possible during a 1% AEP flood event (b) which cannot be accessed by emergency services vehicles or essential utility service vehicles during a 1% AEP flood event. | DTS/DPF 6.1 None are applicable. |
| PO 6.2 Access driveways and tracks to significant development (i.e. dwellings, places of work, etc.) consist of a safe, all-weather trafficable surface that is accessible during a 1% AEP flood event. | DTS/DPF 6.2 None are applicable. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

| | |
|------|---|
| DO 1 | Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development. |
|------|---|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Land Use | |
| PO 1.1 Buildings housing vulnerable people, community services facilities, key infrastructure and emergency services are sited away from flood areas enable uninterrupted operation of services and reduce likelihood of entrapment. | DTS/DPF 1.1 Pre-schools, educational establishments, retirement and supported accommodation, emergency services facilities, hospitals and prisons located outside the 1% AEP flood event. |
| Flood Resilience | |
| PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings. | DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event. |
| Environmental Protection | |
| PO 3.1 Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building during a 1% AEP flood event to avoid potential environmental harm. | DTS/DPF 3.1 Development involving the storage or disposal of hazardous materials is wholly located outside of the 1% AEP flood plain or flow path. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Prescribed Wells Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Sustainable water use in prescribed wells areas. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|--|
| <p>PO 1.1</p> <p>All development, but in particular involving any of the following:</p> <ul style="list-style-type: none"> (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry <p>has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed wells areas.</p> | <p>DTS/DPF 1.1</p> <p>Development satisfies either of the following:</p> <ul style="list-style-type: none"> (a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use or (b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|--|---|---|--|
| <p>Any of the following classes of development that require or may require water to be taken in addition to any allocation that has already been granted under the <i>Landscape South Australia Act 2019</i>:</p> <ul style="list-style-type: none"> (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry. | <p>The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i>.</p> | <p>To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure development is undertaken sustainably.</p> | <p>Development of a class to which Schedule 9 clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p> |
| <p>Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i>.</p> | | | |

Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss. |

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---------------------------|---|
| Tree Retention and Health | |

| | |
|---|--|
| <p>PO 1.1</p> <p>Regulated trees are retained where they:</p> <ul style="list-style-type: none"> (a) make an important visual contribution to local character and amenity (b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or (c) provide an important habitat for native fauna. | <p>DTS/DPF 1.1</p> <p>None are applicable.</p> |
| <p>PO 1.2</p> <p>Significant trees are retained where they:</p> <ul style="list-style-type: none"> (a) make an important contribution to the character or amenity of the local area (b) are indigenous to the local area and are listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species (c) represent an important habitat for native fauna (d) are part of a wildlife corridor of a remnant area of native vegetation (e) are important to the maintenance of biodiversity in the local environment and / or (f) form a notable visual element to the landscape of the local area. | <p>DTS/DPF 1.2</p> <p>None are applicable.</p> |
| <p>PO 1.3</p> <p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <ul style="list-style-type: none"> (a) tree damaging activity is only undertaken to: <ul style="list-style-type: none"> (i) remove a diseased tree where its life expectancy is short (ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like (iii) rectify or prevent extensive damage to a building of value as comprising any of the following: <ul style="list-style-type: none"> A. a Local Heritage Place B. a State Heritage Place C. a substantial building of value <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <ul style="list-style-type: none"> (iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire (v) treat disease or otherwise in the general interests of the health of the tree and / or (vi) maintain the aesthetic appearance and structural integrity of the tree (b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective. | <p>DTS/DPF 1.3</p> <p>None are applicable.</p> |
| <p>PO 1.4</p> <p>A tree-damaging activity in connection with other development satisfies all the following:</p> <ul style="list-style-type: none"> (a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible (b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring. | <p>DTS/DPF 1.4</p> <p>None are applicable.</p> |
| Ground work affecting trees | |
| <p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces</p> | <p>DTS/DPF 2.1</p> <p>None are applicable.</p> |

| | |
|---|---|
| within the vicinity of the tree to support their retention and health. | |
| Land Division | |
| PO 3.1 Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant trees as far as is reasonably practicable. | DTS/DPF 3.1 Land division where: (a) there are no regulated or significant trees located within or adjacent to the plan of division or (b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Development incorporates water sensitive urban design techniques to capture and re-use stormwater. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| PO 1.1 Residential development is designed to capture and re-use stormwater to: (a) maximise conservation of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage stormwater runoff quality. | DTS/DPF 1.1 Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building: (a) includes rainwater tank storage: (i) connected to at least: A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area B. in all other cases, 80% of the roof area (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m ² (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m ² or greater (iv) with a minimum total capacity in accordance with Table 1 (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank (b) incorporates dwelling roof area comprising at least 80% of the site's |

| | <p>impervious area</p> <p>Table 1: Rainwater Tank</p> <table border="1"> <thead> <tr> <th>Site size (m²)</th> <th>Minimum retention volume (Litres)</th> <th>Minimum detention volume (Litres)</th> </tr> </thead> <tbody> <tr> <td><200</td> <td>1000</td> <td>1000</td> </tr> <tr> <td>200-400</td> <td>2000</td> <td>Site perviousness <30%: 1000 Site perviousness ≥30%: N/A</td> </tr> <tr> <td>>401</td> <td>4000</td> <td>Site perviousness <35%: 1000 Site perviousness ≥35%: N/A</td> </tr> </tbody> </table> | Site size (m ²) | Minimum retention volume (Litres) | Minimum detention volume (Litres) | <200 | 1000 | 1000 | 200-400 | 2000 | Site perviousness <30%: 1000 Site perviousness ≥30%: N/A | >401 | 4000 | Site perviousness <35%: 1000 Site perviousness ≥35%: N/A |
|-----------------------------|---|---|-----------------------------------|-----------------------------------|------|------|------|---------|------|---|------|------|---|
| Site size (m ²) | Minimum retention volume (Litres) | Minimum detention volume (Litres) | | | | | | | | | | | |
| <200 | 1000 | 1000 | | | | | | | | | | | |
| 200-400 | 2000 | Site perviousness <30%: 1000 Site perviousness ≥30%: N/A | | | | | | | | | | | |
| >401 | 4000 | Site perviousness <35%: 1000 Site perviousness ≥35%: N/A | | | | | | | | | | | |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Traffic Generating Development Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users. |
| DO 2 | Provision of safe and efficient access to and from urban transport routes and major urban transport routes. |

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--------------------------------|---|
| Traffic Generating Development | |
| PO 1.1 | DTS/DPF 1.1 |

| | |
|--|--|
| Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network. | Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. |
| PO 1.2 Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development. | DTS/DPF 1.2 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. |
| PO 1.3 Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network. | DTS/DPF 1.3 Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---|---------------------------|---|--|
| <p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> (a) land division creating 50 or more additional allotments (b) commercial development with a gross floor area of 10,000m² or more (c) retail development with a gross floor area of 2,000m² or more (d) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (e) industry with a gross floor area of 20,000m² or more (f) educational facilities with a capacity of 250 students or more. | Commissioner of Highways. | To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code. | Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies. |

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

| | |
|------|--|
| DO 1 | Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable. |
|------|--|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|---|---|------|--------------|---------|--------------------------------|------|---|-------------------|--|--|--|-----------|-------------------------|-------------------------|---|-------|-----|----|---|--------|-----|-----|---|-------|------|----|---|------------------------|--|--|--|---------------------------------|---------------------------------|---|-----------------------------|--|--|--|--|
| <p>PO 1.1</p> <p>Trees are planted or retained to contribute to an urban tree canopy.</p> | <p>DTS/DPF 1.1</p> <p>Tree planting is provided in accordance with the following:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-bottom: 10px;"> <thead> <tr style="background-color: #d4edda;"> <th style="width: 50%; padding: 5px;">Site size per dwelling (m²)</th> <th style="width: 50%; padding: 5px;">Tree size* and number required per dwelling</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><450</td> <td style="padding: 5px;">1 small tree</td> </tr> <tr> <td style="padding: 5px;">450-800</td> <td style="padding: 5px;">1 medium tree or 2 small trees</td> </tr> <tr> <td style="padding: 5px;">>800</td> <td style="padding: 5px;">1 large tree or 2 medium trees or 4 small trees</td> </tr> </tbody> </table> <p>*refer Table 1 Tree Size</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-bottom: 10px;"> <thead> <tr style="background-color: #d4edda;"> <th colspan="4" style="padding: 5px;">Table 1 Tree Size</th> </tr> <tr style="background-color: #d4edda;"> <th style="width: 15%; padding: 5px;">Tree size</th> <th style="width: 15%; padding: 5px;">Mature height (minimum)</th> <th style="width: 15%; padding: 5px;">Mature spread (minimum)</th> <th style="width: 55%; padding: 5px;">Soil area around tree within development site (minimum)</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Small</td> <td style="padding: 5px;">4 m</td> <td style="padding: 5px;">2m</td> <td style="padding: 5px;">10m² and min. dimension of 1.5m</td> </tr> <tr> <td style="padding: 5px;">Medium</td> <td style="padding: 5px;">6 m</td> <td style="padding: 5px;">4 m</td> <td style="padding: 5px;">30m² and min. dimension of 2m</td> </tr> <tr> <td style="padding: 5px;">Large</td> <td style="padding: 5px;">12 m</td> <td style="padding: 5px;">8m</td> <td style="padding: 5px;">60m² and min. dimension of 4m</td> </tr> </tbody> </table> <p>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #d4edda;"> <th colspan="4" style="padding: 5px;">Table 2 Tree Discounts</th> </tr> <tr style="background-color: #d4edda;"> <th style="width: 20%; padding: 5px;">Retained tree height (Column A)</th> <th style="width: 20%; padding: 5px;">Retained tree spread (Column B)</th> <th style="width: 20%; padding: 5px;">Retained soil area around tree within development site (Column C)</th> <th style="width: 40%; padding: 5px;">Discount applied (Column D)</th> </tr> </thead> <tbody> <tr> <td style="height: 40px;"></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | Site size per dwelling (m ²) | Tree size* and number required per dwelling | <450 | 1 small tree | 450-800 | 1 medium tree or 2 small trees | >800 | 1 large tree or 2 medium trees or 4 small trees | Table 1 Tree Size | | | | Tree size | Mature height (minimum) | Mature spread (minimum) | Soil area around tree within development site (minimum) | Small | 4 m | 2m | 10m ² and min. dimension of 1.5m | Medium | 6 m | 4 m | 30m ² and min. dimension of 2m | Large | 12 m | 8m | 60m ² and min. dimension of 4m | Table 2 Tree Discounts | | | | Retained tree height (Column A) | Retained tree spread (Column B) | Retained soil area around tree within development site (Column C) | Discount applied (Column D) | | | | |
| Site size per dwelling (m ²) | Tree size* and number required per dwelling | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <450 | 1 small tree | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 450-800 | 1 medium tree or 2 small trees | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| >800 | 1 large tree or 2 medium trees or 4 small trees | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Table 1 Tree Size | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Tree size | Mature height (minimum) | Mature spread (minimum) | Soil area around tree within development site (minimum) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Small | 4 m | 2m | 10m ² and min. dimension of 1.5m | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Medium | 6 m | 4 m | 30m ² and min. dimension of 2m | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Large | 12 m | 8m | 60m ² and min. dimension of 4m | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Table 2 Tree Discounts | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Retained tree height (Column A) | Retained tree spread (Column B) | Retained soil area around tree within development site (Column C) | Discount applied (Column D) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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|---|-------|------|---|---|
| | 4-6m | 2-4m | 10m ² and min. dimension of 1.5m | 2 small trees (or 1 medium tree) |
| | 6-12m | 4-8m | 30m ² and min. dimension of 3m | 2 medium trees (or 4 small trees) |
| | >12m | >8m | 60m ² and min. dimension of 6m | 2 large trees (or 4 medium trees, or 8 small trees) |
| <p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p> | | | | |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Water Resources Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change. |
| DO 2 | Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Water Catchment | |
| PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, | DTS/DPF 1.1 None are applicable. |

| | |
|---|---|
| except where modification is required for essential access or maintenance purposes. | |
| PO 1.2 Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Wetlands and low-lying areas providing habitat for native flora and fauna are not drained, except temporarily for essential management purposes to enhance environmental values. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access. | DTS/DPF 1.4 None are applicable. |
| PO 1.5 Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to: (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse. | DTS/DPF 1.5 A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation. |
| PO 1.6 Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following: (a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses. | DTS/DPF 1.6 None are applicable. |
| PO 1.7 Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation. | DTS/DPF 1.7 None are applicable. |
| PO 1.8 Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse. | DTS/DPF 1.8 None are applicable. |
| PO 1.9 Dams, water tanks and diversion drains are located and constructed to maintain the quality and quantity of flows required to meet environmental and downstream needs. | DTS/DPF 1.9 None are applicable. |

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

| Class of Development / Activity | Referral Body | Purpose of Referral | Statutory Reference |
|---------------------------------|---------------|---------------------|---------------------|
| None | None | None | None |

Part 4 - General Development Policies

Advertisements

Assessment Provisions (AP)

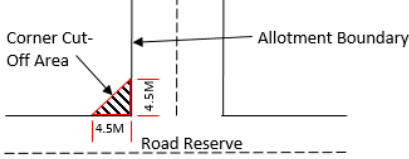
Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|--|
| Appearance | |
| PO 1.1 Advertisements are compatible and integrated with the design of the building and/or land they are located on. | DTS/DPF 1.1 Advertisements attached to a building satisfy all of the following: <ul style="list-style-type: none"> (a) are not located in a Neighbourhood-type zone (b) where they are flush with a wall: <ul style="list-style-type: none"> (i) if located at canopy level, are in the form of a fascia sign (ii) if located above canopy level: <ul style="list-style-type: none"> A. do not have any part rising above parapet height B. are not attached to the roof of the building (c) where they are not flush with a wall: <ul style="list-style-type: none"> (i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure (ii) if attached to a two-storey building: <ul style="list-style-type: none"> A. has no part located above the finished floor level of the second storey of the building B. does not protrude beyond the outer limits of any verandah structure below C. does not have a sign face that exceeds 1m² per side. (d) if located below canopy level, are flush with a wall (e) if located at canopy level, are in the form of a fascia sign (f) if located above a canopy: <ul style="list-style-type: none"> (i) are flush with a wall (ii) do not have any part rising above parapet height (iii) are not attached to the roof of the building. (g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure (h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building (i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached. |
| PO 1.2 | DTS/DPF 1.2 |

| | |
|---|---|
| Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality. | Where development comprises an advertising hoarding, the supporting structure is: <ul style="list-style-type: none"> (a) concealed by the associated advertisement and decorative detailing or (b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design. |
| PO 1.3 Advertising does not encroach on public land or the land of an adjacent allotment. | DTS/DPF 1.3 Advertisements and/or advertising hoardings are contained within the boundaries of the site. |
| PO 1.4 Where possible, advertisements on public land are integrated with existing structures and infrastructure. | DTS/DPF 1.4 Advertisements on public land that meet at least one of the following: <ul style="list-style-type: none"> (a) achieves Advertisements DTS/DPF 1.1 (b) are integrated with a bus shelter. |
| PO 1.5 Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality. | DTS/DPF 1.5 None are applicable. |
| Proliferation of Advertisements | |
| PO 2.1 Proliferation of advertisements is minimised to avoid visual clutter and untidiness. | DTS/DPF 2.1 No more than one freestanding advertisement is displayed per occupancy. |
| PO 2.2 Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness. | DTS/DPF 2.2 Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure. |
| PO 2.3 Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness. | DTS/DPF 2.3 Advertisements satisfy all of the following: <ul style="list-style-type: none"> (a) are attached to a building (b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached (c) do not result in more than one sign per occupancy that is not flush with a wall. |
| Advertising Content | |
| PO 3.1 Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness. | DTS/DPF 3.1 Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement. |
| Amenity Impacts | |
| PO 4.1 Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers. | DTS/DPF 4.1 Advertisements do not incorporate any illumination. |
| Safety | |
| PO 5.1 Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access. | DTS/DPF 5.1 Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign. |
| PO 5.2 Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination. | DTS/DPF 5.2 No advertisement illumination is proposed. |

| | |
|---|--|
| <p>PO 5.3</p> <p>Advertisements and/or advertising hoardings do not create a hazard to drivers by:</p> <ul style="list-style-type: none"> (a) being liable to interpretation by drivers as an official traffic sign or signal (b) obscuring or impairing drivers' view of official traffic signs or signals (c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings. | <p>DTS/DPF 5.3</p> <p>Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> (a) are not located in a public road or rail reserve (b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram  |
| <p>PO 5.4</p> <p>Advertisements and/or advertising hoardings do not create a hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.</p> | <p>DTS/DPF 5.4</p> <p>Advertisements and/or advertising hoardings are not located along or adjacent to a road having a speed limit of 80km/h or more.</p> |
| <p>PO 5.5</p> <p>Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.</p> | <p>DTS/DPF 5.5</p> <p>Where the advertisement or advertising hoarding is:</p> <ul style="list-style-type: none"> (a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb (b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal (c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal: <ul style="list-style-type: none"> (a) 110 km/h road - 14m (b) 100 km/h road - 13m (c) 90 km/h road - 10m (d) 70 or 80 km/h road - 8.5m. |
| <p>PO 5.6</p> <p>Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.</p> | <p>DTS/DPF 5.6</p> <p>Advertising:</p> <ul style="list-style-type: none"> (a) is not illuminated (b) does not incorporate a moving or changing display or message (c) does not incorporate a flashing light(s). |

Animal Keeping and Horse Keeping

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Siting and Design | |
| PO 1.1 Animal keeping, horse keeping and associated activities do not create adverse impacts on the environment or the amenity of the locality. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept. | DTS/DPF 1.2 None are applicable. |
| Horse Keeping | |
| PO 2.1 Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour. | DTS/DPF 2.2 Stables, horse shelters and associated yards are sited in accordance with all of the following: <ul style="list-style-type: none"> (a) 30m or more from any sensitive receivers (existing or approved) on land in other ownership (b) where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment. |
| PO 2.3 All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning. | DTS/DPF 2.3 Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area. |
| PO 2.4 To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse. | DTS/DPF 2.4 Stables, horse shelters and associated yards are set back 50m or more from a watercourse. |
| PO 2.5 Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff. | DTS/DPF 2.5 Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10). |
| Kennels | |
| PO 3.1 Kennel flooring is constructed with an impervious material to facilitate regular cleaning. | DTS/DPF 3.1 The floors of kennels satisfy all of the following: <ul style="list-style-type: none"> (a) are constructed of impervious concrete (b) are designed to be self-draining when washed down. |
| PO 3.2 Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as: <ul style="list-style-type: none"> (a) adopting appropriate separation distances (b) orientating openings away from sensitive receivers. | DTS/DPF 3.2 Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership. |
| PO 3.3 Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour. | DTS/DPF 3.3 Kennels are sited in association with a permanent dwelling on the land. |
| Wastes | |
| PO 4.1 | DTS/DPF 4.1 |

| | |
|---|---|
| Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin. | None are applicable. |
| PO 4.2 Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources. | DTS/DPF 4.2 Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas. |

Aquaculture

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| Land-based Aquaculture | |
| PO 1.1 Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers. | DTS/DPF 1.1 Land-based aquaculture and associated components are located to satisfy all of the following: (a) 200m or more from a sensitive receiver in other ownership (b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers. |
| PO 1.2 Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters. | DTS/DPF 1.4 None are applicable. |
| PO 1.5 Land-based aquaculture and associated components, including intake and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment. | DTS/DPF 1.5 None are applicable. |
| PO 1.6 Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission. | DTS/DPF 1.6 None are applicable. |

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| | |
| PO 1.7 Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment. | DTS/DPF 1.7 None are applicable. |
| Marine Based Aquaculture | |
| PO 2.1 Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including: (a) creeks and estuaries (b) wetlands (c) significant seagrass and mangrove communities (d) marine habitats and ecosystems. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark. | DTS/DPF 2.4 Marine aquaculture development is located 100m or more seaward of the high water mark. |
| PO 2.5 Marine aquaculture is sited and designed to not obstruct or interfere with: (a) areas of high public use (b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports (c) areas of outstanding visual or environmental value (d) areas of high tourism value (e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties (f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water. | DTS/DPF 2.5 None are applicable. |
| PO 2.6 Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment. | DTS/DPF 2.6 None are applicable. |
| PO 2.7 Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as: (a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water (b) positioning structures to protrude the minimum distance practicable above the surface of the water (c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons (d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline. | DTS/DPF 2.7 None are applicable. |
| PO 2.8 Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise | DTS/DPF 2.8 None are applicable. |

| | |
|--|--|
| environmental and amenity impacts. | |
| PO 2.9 Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas. | DTS/DPF 2.9 None are applicable. |
| PO 2.10 Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i> . | DTS/DPF 2.10 Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i> . |
| PO 2.11 Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by: (a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and complement the coastal landscape (b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable (c) incorporating appropriate waste treatment and disposal. | DTS/DPF 2.11 None are applicable. |
| Navigation and Safety | |
| PO 3.1 Marine aquaculture sites are suitably marked to maintain navigational safety. | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Marine aquaculture is sited to provide adequate separation between farms for safe navigation. | DTS/DPF 3.2 None are applicable. |
| Environmental Management | |
| PO 4.1 Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species. | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows. | DTS/DPF 4.2 None are applicable. |
| PO 4.3 Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning. | DTS/DPF 4.3 None are applicable. |
| PO 4.4 Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline. | DTS/DPF 4.4 None are applicable. |

Beverage Production in Rural Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

| | |
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| DO 1 | Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries. |
|------|--|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| Odour and Noise | |
| PO 1.1 Beverage production activities are designed and sited to minimise odour impacts on rural amenity. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Breweries are designed to minimise odours emitted during boiling and fermentation stages of production. | DTS/DPF 1.4 Brew kettles are fitted with a vapour condenser. |
| PO 1.5 Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership. | DTS/DPF 1.5 Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours. |
| Water Quality | |
| PO 2.1 Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water resources. | DTS/DPF 2.1 Wastewater management systems are set back 50m or more from the banks of watercourses and bores. |
| PO 2.2 The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away from beverage production areas and wastewater management systems. | DTS/DPF 2.4 None are applicable. |
| Wastewater Irrigation | |
| PO 3.1 Beverage production wastewater irrigation systems are designed and located | DTS/DPF 3.1 None are applicable. |

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| to not contaminate soil and surface and ground water resources or damage crops. | |
| PO 3.2 Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land. | DTS/DPF 3.2 Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership. |
| PO 3.3 Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as: (a) waterlogged areas (b) land within 50m of a creek, swamp or domestic or stock water bore (c) land subject to flooding (d) steeply sloping land (e) rocky or highly permeable soil overlaying an unconfined aquifer. | DTS/DPF 3.3 None are applicable. |

Bulk Handling and Storage Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| Siting and Design | |
| PO 1.1 Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers. | DTS/DPF 1.1 Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers: (a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility (b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility (c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more (d) coal handling with: a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes |

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| | per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more. |
| Buffers and Landscaping | |
| PO 2.1 Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration. | DTS/DPF 2.2 None are applicable. |
| Access and Parking | |
| PO 3.1 Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site. | DTS/DPF 3.1 Roadways and vehicle parking areas are sealed with an all-weather surface. |
| Slipways, Wharves and Pontoons | |
| PO 4.1 Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters. | DTS/DPF 4.1 None are applicable. |

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property. | DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development. |

Design

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | <p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| All development | |
| External Appearance | |
| PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope). | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> (a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. | DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline. |
| PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone. | DTS/DPF 1.5 None are applicable. |
| Safety | |
| PO 2.1 | DTS/DPF 2.1 |

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| Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable. | None are applicable. |
| PO 2.2 Development is designed to differentiate public, communal and private areas. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm. | DTS/DPF 2.4 None are applicable. |
| PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night. | DTS/DPF 2.5 None are applicable. |
| Landscaping | |
| PO 3.1 Soft landscaping and tree planting is incorporated to: (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes (e) contribute to biodiversity. | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species. | DTS/DPF 3.2 None are applicable. |
| Environmental Performance | |
| PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces. | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling. | DTS/DPF 4.2 None are applicable. |
| PO 4.3 Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells. | DTS/DPF 4.3 None are applicable. |
| Water Sensitive Design | |
| PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting: (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs. | DTS/DPF 5.1 None are applicable. |
| On-site Waste Treatment Systems | |

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| <p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p> | <p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. |
| Carparking Appearance | |
| <p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. | <p>DTS/DPF 7.1</p> <p>None are applicable.</p> |
| <p>PO 7.2</p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p> | <p>DTS/DPF 7.2</p> <p>None are applicable.</p> |
| <p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p> | <p>DTS/DPF 7.3</p> <p>None are applicable.</p> |
| <p>PO 7.4</p> <p>Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.</p> | <p>DTS/DPF 7.4</p> <p>None are applicable.</p> |
| <p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p> | <p>DTS/DPF 7.5</p> <p>None are applicable.</p> |
| <p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p> | <p>DTS/DPF 7.6</p> <p>None are applicable.</p> |
| <p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p> | <p>DTS/DPF 7.7</p> <p>None are applicable.</p> |
| Earthworks and sloping land | |
| <p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p> | <p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more. |
| <p>PO 8.2</p> <p>Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).</p> | <p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> |

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| | <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface. |
| <p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. | <p>DTS/DPF 8.3</p> <p>None are applicable.</p> |
| <p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.</p> | <p>DTS/DPF 8.4</p> <p>None are applicable.</p> |
| <p>PO 8.5</p> <p>Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.</p> | <p>DTS/DPF 8.5</p> <p>None are applicable.</p> |
| Fences and Walls | |
| <p>PO 9.1</p> <p>Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.</p> | <p>DTS/DPF 9.1</p> <p>None are applicable.</p> |
| <p>PO 9.2</p> <p>Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.</p> | <p>DTS/DPF 9.2</p> <p>A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p> |
| Overlooking / Visual Privacy (in building 3 storeys or less) | |
| <p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p> | <p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level. |
| <p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p> | <p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases |
| All Residential development | |

| Front elevations and passive surveillance | |
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| PO 11.1 Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape. | DTS/DPF 11.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street. |
| PO 11.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors. | DTS/DPF 11.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary. |
| Outlook and amenity | |
| PO 12.1 Living rooms have an external outlook to provide a high standard of amenity for occupants. | DTS/DPF 12.1 A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas. |
| PO 12.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion. | DTS/DPF 12.2 None are applicable. |
| Ancillary Development | |
| PO 13.1 Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties. | DTS/DPF 13.1 Ancillary buildings: (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m ² (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level |

| | <ul style="list-style-type: none"> (i) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> (i) a total area as determined by the following table: <table border="1" style="margin: 10px auto; border-collapse: collapse; text-align: center;"> <thead> <tr style="background-color: #0056b3; color: white;"> <th style="padding: 5px;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="padding: 5px;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><150</td> <td style="padding: 5px;">10%</td> </tr> <tr> <td style="padding: 5px;">150-200</td> <td style="padding: 5px;">15%</td> </tr> <tr> <td style="padding: 5px;">201-450</td> <td style="padding: 5px;">20%</td> </tr> <tr> <td style="padding: 5px;">>450</td> <td style="padding: 5px;">25%</td> </tr> </tbody> </table> (ii) the amount of existing soft landscaping prior to the development occurring. | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | <150 | 10% | 150-200 | 15% | 201-450 | 20% | >450 | 25% |
|--|---|--|----------------------------|------|-----|---------|-----|---------|-----|------|-----|
| Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | | | | | | | | | | |
| <150 | 10% | | | | | | | | | | |
| 150-200 | 15% | | | | | | | | | | |
| 201-450 | 20% | | | | | | | | | | |
| >450 | 25% | | | | | | | | | | |

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| <p>PO 13.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.</p> | <p>DTS/DPF 13.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. |
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| <p>PO 13.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p> | <p>DTS/DPF 13.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <ul style="list-style-type: none"> (a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or (b) located at least 12m from the nearest habitable room located on an adjoining allotment. |
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Garage appearance

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| <p>PO 14.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p> | <p>DTS/DPF 14.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening not exceeding 7m in width (d) have a garage door /opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street. |
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Massing

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| <p>PO 15.1</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p> | <p>DTS/DPF 15.1</p> <p>None are applicable</p> |
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Dwelling additions

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| <p>PO 16.1</p> <p>Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.</p> | <p>DTS / DPF 16.1</p> <p>Dwelling additions:</p> <ul style="list-style-type: none"> (a) are not constructed, added to or altered so that any part is situated closer to a public street (b) do not result in: <ul style="list-style-type: none"> (i) excavation exceeding a vertical height of 1m (ii) filling exceeding a vertical height of 1m |
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| | <ul style="list-style-type: none"> (iii) a total combined excavation and filling vertical height of 2m or more (iv) less Private Open Space than specified in Design Table 1 - Private Open Space (v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (vi) upper level windows facing side or rear boundaries unless: <ul style="list-style-type: none"> A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm or B. have sill heights greater than or equal to 1.5m above finished floor level or C. incorporate screening to a height of 1.5m above finished floor level (vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land B. 1.7m above finished floor level in all other cases. |
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Private Open Space

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| <p>PO 17.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p> | <p>DTS/DPF 17.1</p> <p>Private open space is provided in accordance with Design Table 1 - Private Open Space.</p> |
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Water Sensitive Design

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| <p>PO 18.1</p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p> | <p>DTS/DPF 18.1</p> <p>Residential development creating a common driveway / access that services 5 or more dwellings achieves the following stormwater runoff outcomes:</p> <ul style="list-style-type: none"> (a) 80 per cent reduction in average annual total suspended solids (b) 60 per cent reduction in average annual total phosphorus (c) 45 per cent reduction in average annual total nitrogen. |
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| <p>PO 18.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p> | <p>DTS/DPF 18.2</p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"> (a) maintains the pre-development peak flow rate from the site based upon a 0.35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0.35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and (b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings. |
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Car parking, access and manoeuvrability

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| <p>PO 19.1</p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 19.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single width car parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m |
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| | <ul style="list-style-type: none"> (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. |
| <p>PO 19.2</p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 19.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m |
| <p>PO 19.3</p> <p>Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages, domestic waste collection and on-street parking.</p> | <p>DTS/DPF 19.3</p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p> |
| <p>PO 19.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p> | <p>DTS/DPF 19.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed: <ul style="list-style-type: none"> (i) is set back 6m or more from the tangent point of an intersection of 2 or more roads (ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing (iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services. |
| <p>PO 19.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p> | <p>DTS/DPF 19.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1:4 on average (b) they are aligned relative to the street boundary so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the street boundary (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site |
| <p>PO 19.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p> | <p>DTS/DPF 19.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented. |
| Waste storage | |
| <p>PO 20.1</p> <p>Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.</p> | <p>DTS/DPF 20.1</p> <p>None are applicable.</p> |

Design of Transportable Dwellings

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| <p>PO 21.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p> | <p>DTS/DPF 21.1</p> <p>Buildings satisfy (a) or (b):</p> <p>(a) are not transportable or (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</p> |
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Group dwelling, residential flat buildings and battle-axe development

Amenity

| <p>PO 22.1</p> <p>Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.</p> | <p>DTS/DPF 22.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" data-bbox="821 600 1535 1041"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m²</td> </tr> <tr> <td>1 bedroom</td> <td>50m²</td> </tr> <tr> <td>2 bedroom</td> <td>65m²</td> </tr> <tr> <td>3+ bedrooms</td> <td>80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table> | Number of bedrooms | Minimum internal floor area | Studio | 35m ² | 1 bedroom | 50m ² | 2 bedroom | 65m ² | 3+ bedrooms | 80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom |
|--|---|--------------------|-----------------------------|--------|------------------|-----------|------------------|-----------|------------------|-------------|--|
| Number of bedrooms | Minimum internal floor area | | | | | | | | | | |
| Studio | 35m ² | | | | | | | | | | |
| 1 bedroom | 50m ² | | | | | | | | | | |
| 2 bedroom | 65m ² | | | | | | | | | | |
| 3+ bedrooms | 80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom | | | | | | | | | | |

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| <p>PO 22.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p> | <p>DTS/DPF 22.2</p> <p>None are applicable.</p> |
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| <p>PO 22.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p> | <p>DTS/DPF 22.3</p> <p>None are applicable.</p> |
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| <p>PO 22.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p> | <p>DTS/DPF 22.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p> |
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Communal Open Space

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| <p>PO 23.1</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p> | <p>DTS/DPF 23.1</p> <p>None are applicable.</p> |
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| <p>PO 23.2</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p> | <p>DTS/DPF 23.2</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p> |
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| <p>PO 23.3</p> <p>Communal open space is designed and sited to:</p> <p>(a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.</p> | <p>DTS/DPF 23.3</p> <p>None are applicable.</p> |
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| <p>PO 23.4</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p> | <p>DTS/DPF 23.4</p> <p>None are applicable.</p> |
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| <p>PO 23.5</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p> | <p>DTS/DPF 23.5</p> <p>None are applicable.</p> |
| Carparking, access and manoeuvrability | |
| <p>PO 24.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p> | <p>DTS/DPF 24.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwellings (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p> |
| <p>PO 24.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p> | <p>DTS/DPF 24.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p> |
| <p>PO 24.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p> | <p>DTS/DPF 24.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p> |
| <p>PO 24.4</p> <p>Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.</p> | <p>DTS/DPF 24.4</p> <p>Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.</p> |
| <p>PO 24.5</p> <p>Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.</p> | <p>DTS/DPF 24.5</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p> |
| <p>PO 24.6</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p> | <p>DTS/DPF 24.6</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p> |
| Soft Landscaping | |
| <p>PO 25.1</p> <p>Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.</p> | <p>DTS/DPF 25.1</p> <p>Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.</p> |
| <p>PO 25.2</p> <p>Soft landscaping is provided that improves the appearance of common driveways.</p> | <p>DTS/DPF 25.2</p> <p>Where a common driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</p> |

| Site Facilities / Waste Storage | |
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| PO 26.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants. | DTS/DPF 26.1 None are applicable. |
| PO 26.2 Provision is made for suitable external clothes drying facilities. | DTS/DPF 26.2 None are applicable. |
| PO 26.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point. | DTS/DPF 26.3 None are applicable. |
| PO 26.4 Waste and recyclable material storage areas are located away from dwellings. | DTS/DPF 26.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window. |
| PO 26.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles. | DTS/DPF 26.5 None are applicable. |
| PO 26.6 Services including gas and water meters are conveniently located and screened from public view. | DTS/DPF 26.6 None are applicable. |
| Supported accommodation and retirement facilities | |
| Siting and Configuration | |
| PO 27.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land. | DTS/DPF 27.1 None are applicable. |
| Movement and Access | |
| PO 28.1 Development is designed to support safe and convenient access and movement for residents by providing: (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points. | DTS/DPF 28.1 None are applicable. |
| Communal Open Space | |
| PO 29.1 Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors. | DTS/DPF 29.1 None are applicable. |
| PO 29.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents. | DTS/DPF 29.2 None are applicable. |
| PO 29.3 | DTS/DPF 29.3 |

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| Communal open space is of sufficient size and dimensions to cater for group recreation. | Communal open space incorporates a minimum dimension of 5 metres. |
| PO 29.4 Communal open space is designed and sited to: (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. | DTS/DPF 29.4 None are applicable. |
| PO 29.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use. | DTS/DPF 29.5 None are applicable. |
| PO 29.6 Communal open space is designed and sited to: (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance. | DTS/DPF 29.6 None are applicable. |
| Site Facilities / Waste Storage | |
| PO 30.1 Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles. | DTS/DPF 30.1 None are applicable. |
| PO 30.2 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants. | DTS/DPF 30.2 None are applicable. |
| PO 30.3 Provision is made for suitable external clothes drying facilities. | DTS/DPF 30.3 None are applicable. |
| PO 30.4 Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view. | DTS/DPF 30.4 None are applicable. |
| PO 30.5 Waste and recyclable material storage areas are located away from dwellings. | DTS/DPF 30.5 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window. |
| PO 30.6 Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time. | DTS/DPF 30.6 None are applicable. |
| PO 30.7 Services including gas and water meters are conveniently located and screened from public view. | DTS/DPF 30.7 None are applicable. |
| All non-residential development | |
| Water Sensitive Design | |
| PO 31.1 Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater. | DTS/DPF 31.1 None are applicable. |
| PO 31.2 Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state. | DTS/DPF 31.2 None are applicable. |

| Wash-down and Waste Loading and Unloading | |
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| PO 32.1 Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are: <ul style="list-style-type: none"> (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area (d) designed to drain wastewater to either: <ul style="list-style-type: none"> (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or (ii) a holding tank and its subsequent removal off-site on a regular basis. | DTS/DPF 32.1 None are applicable. |

Table 1 - Private Open Space

| Dwelling Type | Minimum Rate |
|--|---|
| Dwelling (at ground level) | Total private open space area: <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m. |
| Dwelling (above ground level) | Studio (no separate bedroom): 4m ² with a minimum dimension 1.8m One bedroom: 8m ² with a minimum dimension 2.1m Two bedroom dwelling: 11m ² with a minimum dimension 2.4m Three + bedroom dwelling: 15m ² with a minimum dimension 2.6m |
| Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park | Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation. |

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Development is: <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting |

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| | <p>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p> |
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| All Development | |
| External Appearance | |
| PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope). | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. | DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline. |
| PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone. | DTS/DPF 1.5 None are applicable. |
| Safety | |
| PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Development is designed to differentiate public, communal and private areas. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 | DTS/DPF 2.4 |

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| Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm. | None are applicable. |
| PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night. | DTS/DPF 2.5 None are applicable. |
| Landscaping | |
| PO 3.1 Soft landscaping and tree planting are incorporated to: (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes. | DTS/DPF 3.1 None are applicable. |
| Environmental Performance | |
| PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces. | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling. | DTS/DPF 4.2 None are applicable. |
| PO 4.3 Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells. | DTS/DPF 4.3 None are applicable. |
| Water Sensitive Design | |
| PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting: (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs. | DTS/DPF 5.1 None are applicable. |
| On-site Waste Treatment Systems | |
| PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking. | DTS/DPF 6.1 Effluent disposal drainage areas do not: (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. |
| Car parking appearance | |
| PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building | DTS/DPF 7.1 None are applicable. |

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| structure. | |
| PO 7.2 Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like. | DTS/DPF 7.2 None are applicable. |
| PO 7.3 Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development. | DTS/DPF 7.3 None are applicable. |
| PO 7.4 Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection. | DTS/DPF 7.4 Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m. |
| PO 7.5 Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places. | DTS/DPF 7.5 Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of: (a) 1m along all public road frontages and allotment boundaries (b) 1m between double rows of car parking spaces. |
| PO 7.6 Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity. | DTS/DPF 7.6 None are applicable. |
| PO 7.7 Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping. | DTS/DPF 7.7 None are applicable. |
| Earthworks and sloping land | |
| PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography. | DTS/DPF 8.1 Development does not involve any of the following: (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more. |
| PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land. | DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface. |
| PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. | DTS/DPF 8.3 None are applicable. |
| PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion. | DTS/DPF 8.4 None are applicable. |

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|---|--|
| PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability. | DTS/DPF 8.5 None are applicable. |
| Fences and walls | |
| PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places. | DTS/DPF 9.1 None are applicable. |
| PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts. | DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall. |
| Overlooking / Visual Privacy (low rise buildings) | |
| PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones. | DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level. |
| PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones. | DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases |
| Site Facilities / Waste Storage (excluding low rise residential development) | |
| PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection. | DTS/DPF 11.1 None are applicable. |
| PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings. | DTS/DPF 11.2 None are applicable. |
| PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms. | DTS/DPF 11.3 None are applicable. |
| PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing. | DTS/DPF 11.4 None are applicable. |
| PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate. | DTS/DPF 11.5 None are applicable. |
| All Development - Medium and High Rise | |

| External Appearance | |
|---|--|
| PO 12.1 Buildings positively contribute to the character of the local area by responding to local context. | DTS/DPF 12.1 None are applicable. |
| PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale. | DTS/DPF 12.2 None are applicable. |
| PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements. | DTS/DPF 12.3 None are applicable. |
| PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations. | DTS/DPF 12.4 None are applicable. |
| PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements. | DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes: (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration. |
| PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages. | DTS/DPF 12.6 Building street frontages incorporate: (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions. |
| PO 12.7 Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character. | DTS/DPF 12.7 Entrances to multi-storey buildings are: (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment. |
| PO 12.8 Building services, plant and mechanical equipment are screened from the public realm. | DTS/DPF 12.8 None are applicable. |
| Landscaping | |
| PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings. | DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired. |
| PO 13.2 Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey | DTS/DPF 13.2 Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired. |

| buildings. | <table border="1"> <thead> <tr> <th>Site area</th> <th>Minimum deep soil area</th> <th>Minimum dimension</th> <th>Tree / deep soil zones</th> </tr> </thead> <tbody> <tr> <td><300 m²</td> <td>10 m²</td> <td>1.5m</td> <td>1 small tree / 10 m²</td> </tr> <tr> <td>300-1500 m²</td> <td>7% site area</td> <td>3m</td> <td>1 medium tree / 30 m²</td> </tr> <tr> <td>>1500 m²</td> <td>7% site area</td> <td>6m</td> <td>1 large or medium tree / 60 m²</td> </tr> <tr> <th colspan="4">Tree size and site area definitions</th> </tr> <tr> <td>Small tree</td> <td colspan="3">4-6m mature height and 2-4m canopy spread</td> </tr> <tr> <td>Medium tree</td> <td colspan="3">6-12m mature height and 4-8m canopy spread</td> </tr> <tr> <td>Large tree</td> <td colspan="3">12m mature height and >8m canopy spread</td> </tr> <tr> <td>Site area</td> <td colspan="3">The total area for development site, not average area per dwelling</td> </tr> </tbody> </table> | Site area | Minimum deep soil area | Minimum dimension | Tree / deep soil zones | <300 m ² | 10 m ² | 1.5m | 1 small tree / 10 m ² | 300-1500 m ² | 7% site area | 3m | 1 medium tree / 30 m ² | >1500 m ² | 7% site area | 6m | 1 large or medium tree / 60 m ² | Tree size and site area definitions | | | | Small tree | 4-6m mature height and 2-4m canopy spread | | | Medium tree | 6-12m mature height and 4-8m canopy spread | | | Large tree | 12m mature height and >8m canopy spread | | | Site area | The total area for development site, not average area per dwelling | | |
|---|---|-------------------|--|-------------------|------------------------|---------------------|-------------------|------|----------------------------------|-------------------------|--------------|----|-----------------------------------|----------------------|--------------|----|--|-------------------------------------|--|--|--|------------|---|--|--|-------------|--|--|--|------------|---|--|--|-----------|--|--|--|
| Site area | Minimum deep soil area | Minimum dimension | Tree / deep soil zones | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <300 m ² | 10 m ² | 1.5m | 1 small tree / 10 m ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 300-1500 m ² | 7% site area | 3m | 1 medium tree / 30 m ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| >1500 m ² | 7% site area | 6m | 1 large or medium tree / 60 m ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Tree size and site area definitions | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Small tree | 4-6m mature height and 2-4m canopy spread | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Medium tree | 6-12m mature height and 4-8m canopy spread | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Large tree | 12m mature height and >8m canopy spread | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Site area | The total area for development site, not average area per dwelling | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 13.3</p> <p>Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.</p> | <p>DTS/DPF 13.3</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 13.4</p> <p>Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.</p> | <p>DTS/DPF 13.4</p> <p>Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Environmental | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 14.1</p> <p>Development minimises detrimental micro-climatic impacts on adjacent land and buildings.</p> | <p>DTS/DPF 14.1</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 14.2</p> <p>Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.</p> | <p>DTS/DPF 14.2</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 14.3</p> <p>Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:</p> <ul style="list-style-type: none"> (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level. | <p>DTS/DPF 14.3</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| Car Parking | |
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| PO 15.1 Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings. | DTS/DPF 15.1 Multi-level vehicle parking structures within buildings: (a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages (b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings. |
| PO 15.2 Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale. | DTS/DPF 15.2 None are applicable. |
| Overlooking/Visual Privacy | |
| PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as: (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity. | DTS/DPF 16.1 None are applicable. |
| All residential development | |
| Front elevations and passive surveillance | |
| PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape. | DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street. |
| PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors. | DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary. |
| Outlook and Amenity | |
| PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants. | DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas. |
| PO 18.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion. | DTS/DPF 18.2 None are applicable. |
| Ancillary Development | |
| PO 19.1 Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties. | DTS/DPF 19.1 Ancillary buildings: (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m ² (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to |

| | <p>which it is ancillary or</p> <ul style="list-style-type: none"> (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) <p>(d) in the case of a garage or carport, the garage or carport:</p> <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour</p> <p>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</p> <ul style="list-style-type: none"> (i) a total area as determined by the following table: <table border="1" style="margin-left: 20px; border-collapse: collapse; width: 100%;"> <thead> <tr style="background-color: #2c5e8c; color: white;"> <th style="padding: 5px;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="padding: 5px;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><150</td> <td style="padding: 5px;">10%</td> </tr> <tr> <td style="padding: 5px;">150-200</td> <td style="padding: 5px;">15%</td> </tr> <tr> <td style="padding: 5px;">201-450</td> <td style="padding: 5px;">20%</td> </tr> <tr> <td style="padding: 5px;">>450</td> <td style="padding: 5px;">25%</td> </tr> </tbody> </table> (ii) the amount of existing soft landscaping prior to the development occurring. | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | <150 | 10% | 150-200 | 15% | 201-450 | 20% | >450 | 25% |
|--|---|--|----------------------------|------|-----|---------|-----|---------|-----|------|-----|
| Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | | | | | | | | | | |
| <150 | 10% | | | | | | | | | | |
| 150-200 | 15% | | | | | | | | | | |
| 201-450 | 20% | | | | | | | | | | |
| >450 | 25% | | | | | | | | | | |
| <p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p> | <p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. | | | | | | | | | | |
| <p>PO 19.3</p> | <p>DTS/DPF 19.3</p> | | | | | | | | | | |

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| Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers. | <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <ul style="list-style-type: none"> (a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or (b) located at least 12m from the nearest habitable room located on an adjoining allotment. |
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Residential Development - Low Rise

External appearance

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| <p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p> | <p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street. |
| <p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p> | <p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish. |
| <p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p> | <p>DTS/DPF 20.3</p> <p>None are applicable</p> |

Private Open Space

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| <p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p> | <p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p> |
| <p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p> | <p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p> |

Landscaping

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| <p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> | <p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> |
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| <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. | <p>(a) a total area as determined by the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #2c5e8c; color: white;"> <th style="text-align: left; padding: 5px;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="text-align: left; padding: 5px;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><150</td> <td style="padding: 5px;">10%</td> </tr> <tr> <td style="padding: 5px;">150-200</td> <td style="padding: 5px;">15%</td> </tr> <tr> <td style="padding: 5px;">>200-450</td> <td style="padding: 5px;">20%</td> </tr> <tr> <td style="padding: 5px;">>450</td> <td style="padding: 5px;">25%</td> </tr> </tbody> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p> | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | <150 | 10% | 150-200 | 15% | >200-450 | 20% | >450 | 25% |
|---|--|--|----------------------------|------|-----|---------|-----|----------|-----|------|-----|
| Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | | | | | | | | | | |
| <150 | 10% | | | | | | | | | | |
| 150-200 | 15% | | | | | | | | | | |
| >200-450 | 20% | | | | | | | | | | |
| >450 | 25% | | | | | | | | | | |

Car parking, access and manoeuvrability

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| <p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single width car parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. |
| <p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m. |
| <p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p> | <p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m. |
| <p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p> | <p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset |

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| | <p>owner</p> <ul style="list-style-type: none"> (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing. |
| <p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p> | <p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site |
| <p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p> | <p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented. |
| Waste storage | |
| <p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p> | <p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street. |
| Design of Transportable Buildings | |
| <p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p> | <p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building. |
| Residential Development - Medium and High Rise (including serviced apartments) | |
| Outlook and Visual Privacy | |
| <p>PO 26.1</p> <p>Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.</p> | <p>DTS/DPF 26.1</p> <p>Buildings:</p> <ul style="list-style-type: none"> (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage. |
| <p>PO 26.2</p> | <p>DTS/DPF 26.2</p> |

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| The visual privacy of ground level dwellings within multi-level buildings is protected. | The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m. |
| Private Open Space | |
| PO 27.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants. | DTS/DPF 27.1 Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space. |
| Residential amenity in multi-level buildings | |
| PO 28.1 Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces. | DTS/DPF 28.1 Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary. |
| PO 28.2 Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to: (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas. | DTS/DPF 28.2 Balconies utilise one or a combination of the following design elements: (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls. |
| PO 28.3 Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living. | DTS/DPF 28.3 Balconies open directly from a habitable room and incorporate a minimum dimension of 2m. |
| PO 28.4 Dwellings are provided with sufficient space for storage to meet likely occupant needs. | DTS/DPF 28.4 Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling: (a) studio: not less than 6m ³ (b) 1 bedroom dwelling / apartment: not less than 8m ³ (c) 2 bedroom dwelling / apartment: not less than 10m ³ (d) 3+ bedroom dwelling / apartment: not less than 12m ³ . |
| PO 28.5 Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided. | DTS/DPF 28.5 Light wells: (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms. |
| PO 28.6 Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions. | DTS/DPF 28.6 None are applicable. |
| PO 28.7 Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable. | DTS/DPF 28.7 None are applicable. |
| Dwelling Configuration | |
| PO 29.1 Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity. | DTS/DPF 29.1 Buildings containing in excess of 10 dwellings provide at least one of each of the following: (a) studio (where there is no separate bedroom) |

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| | <ul style="list-style-type: none"> (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom. |
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| <p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p> | <p>DTS/DPF 29.2</p> <p>None are applicable.</p> |
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Common Areas

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| <p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p> | <p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p> <ul style="list-style-type: none"> (a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core. |
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Group Dwellings, Residential Flat Buildings and Battle axe Development

Amenity

| <p>PO 31.1</p> <p>Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p> | <p>DTS/DPF 31.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Number of bedrooms</th> <th style="text-align: left;">Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m²</td> </tr> <tr> <td>1 bedroom</td> <td>50m²</td> </tr> <tr> <td>2 bedroom</td> <td>65m²</td> </tr> <tr> <td>3+ bedrooms</td> <td>80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table> | Number of bedrooms | Minimum internal floor area | Studio | 35m ² | 1 bedroom | 50m ² | 2 bedroom | 65m ² | 3+ bedrooms | 80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom |
|---|---|--------------------|-----------------------------|--------|------------------|-----------|------------------|-----------|------------------|-------------|--|
| Number of bedrooms | Minimum internal floor area | | | | | | | | | | |
| Studio | 35m ² | | | | | | | | | | |
| 1 bedroom | 50m ² | | | | | | | | | | |
| 2 bedroom | 65m ² | | | | | | | | | | |
| 3+ bedrooms | 80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom | | | | | | | | | | |

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| <p>PO 31.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p> | <p>DTS/DPF 31.2</p> <p>None are applicable.</p> |
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| <p>PO 31.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p> | <p>DTS/DPF 31.3</p> <p>None are applicable.</p> |
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| <p>PO 31.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p> | <p>DTS/DPF 31.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p> |
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Communal Open Space

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| <p>PO 32.1</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p> | <p>DTS/DPF 32.1</p> <p>None are applicable.</p> |
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| <p>PO 32.2</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p> | <p>DTS/DPF 32.2</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p> |
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| <p>PO 32.3</p> <p>Communal open space is designed and sited to:</p> | <p>DTS/DPF 32.3</p> <p>None are applicable.</p> |
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| <p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p> | |
| <p>PO 32.4</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p> | <p>DTS/DPF 32.4</p> <p>None are applicable.</p> |
| <p>PO 32.5</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p> | <p>DTS/DPF 32.5</p> <p>None are applicable.</p> |
| Car parking, access and manoeuvrability | |
| <p>PO 33.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p> | <p>DTS/DPF 33.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p> |
| <p>PO 33.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p> | <p>DTS/DPF 33.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p> |
| <p>PO 33.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p> | <p>DTS/DPF 33.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p> |
| <p>PO 33.4</p> <p>Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p> | <p>DTS/DPF 33.4</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p> |
| <p>PO 33.5</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p> | <p>DTS/DPF 33.5</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p> |
| Soft landscaping | |
| <p>PO 34.1</p> <p>Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.</p> | <p>DTS/DPF 34.1</p> <p>Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.</p> |
| <p>PO 34.2</p> <p>Battle-axe or common driveways incorporate landscaping and permeability to</p> | <p>DTS/DPF 34.2</p> <p>Battle-axe or common driveways satisfy (a) and (b):</p> |

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| improve appearance and assist in stormwater management. | (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point). |
| Site Facilities / Waste Storage | |
| PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants. | DTS/DPF 35.1 None are applicable. |
| PO 35.2 Provision is made for suitable external clothes drying facilities. | DTS/DPF 35.2 None are applicable. |
| PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point. | DTS/DPF 35.3 None are applicable. |
| PO 35.4 Waste and recyclable material storage areas are located away from dwellings. | DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window. |
| PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles. | DTS/DPF 35.5 None are applicable. |
| PO 35.6 Services including gas and water meters are conveniently located and screened from public view. | DTS/DPF 35.6 None are applicable. |
| Water sensitive urban design | |
| PO 36.1 Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies. | DTS/DPF 36.1 None are applicable. |
| PO 36.2 Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems. | DTS/DPF 36.2 None are applicable. |
| Supported Accommodation and retirement facilities | |
| Siting, Configuration and Design | |
| PO 37.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land. | DTS/DPF 37.1 None are applicable. |
| PO 37.2 Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place. | DTS/DPF 37.2 None are applicable. |
| Movement and Access | |
| PO 38.1 | DTS/DPF 38.1 |

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| Development is designed to support safe and convenient access and movement for residents by providing: | None are applicable. |
| <ul style="list-style-type: none"> (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points. | |
| Communal Open Space | |
| PO 39.1 Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors. | DTS/DPF 39.1 None are applicable. |
| PO 39.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents. | DTS/DPF 39.2 None are applicable. |
| PO 39.3 Communal open space is of sufficient size and dimensions to cater for group recreation. | DTS/DPF 39.3 Communal open space incorporates a minimum dimension of 5 metres. |
| PO 39.4 Communal open space is designed and sited to: | DTS/DPF 39.4 None are applicable. |
| <ul style="list-style-type: none"> (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. | |
| PO 39.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use. | DTS/DPF 39.5 None are applicable. |
| PO 39.6 Communal open space is designed and sited to: | DTS/DPF 39.6 None are applicable. |
| <ul style="list-style-type: none"> (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance. | |
| Site Facilities / Waste Storage | |
| PO 40.1 Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles. | DTS/DPF 40.1 None are applicable. |
| PO 40.2 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants. | DTS/DPF 40.2 None are applicable. |
| PO 40.3 Provision is made for suitable external clothes drying facilities. | DTS/DPF 40.3 None are applicable. |
| PO 40.4 Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view. | DTS/DPF 40.4 None are applicable. |
| PO 40.5 | DTS/DPF 40.5 |

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| Waste and recyclable material storage areas are located away from dwellings. | Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window. |
| PO 40.6 Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time. | DTS/DPF 40.6 None are applicable. |
| PO 40.7 Services, including gas and water meters, are conveniently located and screened from public view. | DTS/DPF 40.7 None are applicable. |
| Student Accommodation | |
| PO 41.1 Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction. | DTS/DPF 41.1 Student accommodation provides: (a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units (b) common or shared facilities to enable a more efficient use of space, including: (i) shared cooking, laundry and external drying facilities (ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space (iii) common storage facilities at the rate of 8m ³ for every 2 dwellings or students (iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (v) bicycle parking at the rate of one space for every 2 students. |
| PO 41.2 Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing. | DTS/DPF 41.2 None are applicable. |
| All non-residential development | |
| Water Sensitive Design | |
| PO 42.1 Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater. | DTS/DPF 42.1 None are applicable. |
| PO 42.2 Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state. | DTS/DPF 42.2 None are applicable. |
| PO 42.3 Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems. | DTS/DPF 42.3 None are applicable. |
| Wash-down and Waste Loading and Unloading | |
| PO 43.1 Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are: (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection | DTS/DPF 43.1 None are applicable. |

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| <p>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area</p> <p>(d) are designed to drain wastewater to either:</p> <p>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or</p> <p>(ii) a holding tank and its subsequent removal off-site on a regular basis.</p> | |
| Laneway Development | |
| Infrastructure and Access | |
| <p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <p>(a) existing utility infrastructure and services are capable of accommodating the development</p> <p>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</p> <p>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</p> <p>(d) safety of pedestrians or vehicle movement is maintained</p> <p>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</p> | <p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p> |

Table 1 - Private Open Space

| Dwelling Type | Dwelling / Site Configuration | Minimum Rate |
|--|--|---|
| Dwelling (at ground level, other than a residential flat building that includes above ground dwellings) | | <p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p> |
| Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park | | Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation. |
| Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings | Dwellings at ground level: | 15m ² / minimum dimension 3m |
| | Dwellings above ground level: | |
| | Studio (no separate bedroom) | 4m ² / minimum dimension 1.8m |
| | One bedroom dwelling | 8m ² / minimum dimension 2.1m |
| | Two bedroom dwelling | 11m ² / minimum dimension 2.4m |
| Three + bedroom dwelling | 15 m ² / minimum dimension 2.6m | |

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Siting | |
| PO 1.1 Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion. | DTS/DPF 1.2 Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5). |
| PO 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance. | DTS/DPF 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from any sensitive receiver. |
| PO 1.4 Commercial forestry plantations are separated from reserves gazetted under the <i>National Parks and Wildlife Act 1972</i> and/or <i>Wilderness Protection Act 1992</i> to minimise fire risk and potential for weed infestation. | DTS/DPF 1.4 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from a reserve gazetted under the <i>National Parks and Wildlife Act 1972</i> and/or <i>Wilderness Protection Act 1992</i> . |
| Water Protection | |
| PO 2.1 Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources. | DTS/DPF 2.2 Commercial forestry plantations: <ul style="list-style-type: none"> (a) do not involve cultivation (excluding spot cultivation) in drainage lines (b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer) (c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole (with no direct connection to an aquifer). |
| Fire Management | |
| PO 3.1 Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements. | DTS/DPF 3.1 Commercial forestry plantations provide: |

| | <ul style="list-style-type: none"> (a) 7m or more wide external boundary firebreaks for plantations of 40ha or less (b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha (c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater. | | | | | | | | | | | | | | | | | | | | | |
|---|---|--|---------------|--|--------|-------|-----|--------|-------|-----|--------|-------|-----|--------|------|-----|-------|------|-----|-----------------|------|-----|
| <p>PO 3.2</p> <p>Commercial forestry plantations incorporate appropriate fire management access tracks.</p> | <p>DTS/DPF 3.2</p> <p>Commercial forestry plantation fire management access tracks:</p> <ul style="list-style-type: none"> (a) are incorporated within all firebreaks (b) are 7m or more wide with a vertical clearance of 4m or more (c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles (d) partition the plantation into units of 40ha or less in area. | | | | | | | | | | | | | | | | | | | | | |
| Power-line Clearances | | | | | | | | | | | | | | | | | | | | | | |
| <p>PO 4.1</p> <p>Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.</p> | <p>DTS/DPF 4.1</p> <p>Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 33%;">Voltage of transmission line</th> <th style="width: 33%;">Tower or Pole</th> <th style="width: 33%;">Minimum horizontal clearance distance between plantings and transmission lines</th> </tr> </thead> <tbody> <tr> <td>500 kV</td> <td>Tower</td> <td>38m</td> </tr> <tr> <td>275 kV</td> <td>Tower</td> <td>25m</td> </tr> <tr> <td>132 kV</td> <td>Tower</td> <td>30m</td> </tr> <tr> <td>132 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>66 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>Less than 66 kV</td> <td>Pole</td> <td>20m</td> </tr> </tbody> </table> | Voltage of transmission line | Tower or Pole | Minimum horizontal clearance distance between plantings and transmission lines | 500 kV | Tower | 38m | 275 kV | Tower | 25m | 132 kV | Tower | 30m | 132 kV | Pole | 20m | 66 kV | Pole | 20m | Less than 66 kV | Pole | 20m |
| Voltage of transmission line | Tower or Pole | Minimum horizontal clearance distance between plantings and transmission lines | | | | | | | | | | | | | | | | | | | | |
| 500 kV | Tower | 38m | | | | | | | | | | | | | | | | | | | | |
| 275 kV | Tower | 25m | | | | | | | | | | | | | | | | | | | | |
| 132 kV | Tower | 30m | | | | | | | | | | | | | | | | | | | | |
| 132 kV | Pole | 20m | | | | | | | | | | | | | | | | | | | | |
| 66 kV | Pole | 20m | | | | | | | | | | | | | | | | | | | | |
| Less than 66 kV | Pole | 20m | | | | | | | | | | | | | | | | | | | | |

Housing Renewal

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| Land Use and Intensity | |
| PO 1.1 Residential development provides a range of housing choices. | DTS/DPF 1.1 Development comprises one or more of the following: <ul style="list-style-type: none"> (a) detached dwellings (b) semi-detached dwellings (c) row dwellings (d) group dwellings (e) residential flat buildings. |
| PO 1.2 Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres. | DTS/DPF 1.2 None are applicable. |
| Building Height | |
| PO 2.1 Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space. | DTS/DPF 2.1 Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end). |
| PO 2.2 Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary. | DTS/DPF 2.2 None are applicable. |
| Primary Street Setback | |
| PO 3.1 Buildings are set back from the primary street boundary to contribute to an attractive streetscape character. | DTS/DPF 3.1 Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m. |
| Secondary Street Setback | |
| PO 4.1 Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape character. | DTS/DPF 4.1 Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage. |
| Boundary Walls | |
| PO 5.1 Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation. | DTS/DPF 5.1 Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b): <ul style="list-style-type: none"> (a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height (b) do not: <ul style="list-style-type: none"> (i) exceed 3.2m in height from the lower of the natural or finished ground level (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary (iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land. |
| PO 5.2 Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character. | DTS/DPF 5.2 Dwellings in a semi-detached or row arrangement are set back 900mm or more from side boundaries shared with allotments outside the development |

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| | site, except for a carport or garage. |
| Side Boundary Setback | |
| PO 6.1 Buildings are set back from side boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours. | DTS/DPF 6.1 Other than walls located on a side boundary, buildings are set back from side boundaries: (a) at least 900mm where the wall height is up to 3m (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m (c) at least 1.9m plus 1/3 of the wall height above 3m for walls facing a southern side boundary. |
| Rear Boundary Setback | |
| PO 7.1 Buildings are set back from rear boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. | DTS/DPF 7.1 Dwellings are set back from the rear boundary: (a) 3m or more for the first building level (b) 5m or more for any subsequent building level. |
| Buildings elevation design | |
| PO 8.1 Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas. | DTS/DPF 8.1 Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway: (a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building elevation (c) a balcony projects from the building elevation (d) a verandah projects at least 1m from the building elevation (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm. (g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish. |
| PO 8.2 Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape. | DTS/DPF 8.2 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street |
| PO 8.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets. | DTS/DPF 8.3 None are applicable. |
| PO 8.4 Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression. | DTS/DPF 8.4 None are applicable. |
| PO 8.5 Entrances to multi-storey buildings are: (a) oriented towards the street (b) visible and easily identifiable from the street (c) designed to include a common mail box structure. | DTS/DPF 8.5 None are applicable. |

| Outlook and amenity | | | | | | | | | | | | | | | | | | | |
|--|--|--|-------------------------------|--------------|----------------------------|--|--|-------------------------------|--------|--|--|----------------------|--|--|----------------------|---|--|--------------------------|--|
| <p>PO 9.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p> | <p>DTS/DPF 9.1</p> <p>A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.</p> | | | | | | | | | | | | | | | | | | |
| <p>PO 9.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p> | <p>DTS/DPF 9.2</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | |
| Private Open Space | | | | | | | | | | | | | | | | | | | |
| <p>PO 10.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p> | <p>DTS/DPF 10.1</p> <p>Private open space is provided in accordance with the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr style="background-color: #2c3e50; color: white;"> <th style="text-align: left;">Dwelling Type</th> <th style="text-align: left;">Dwelling / Site Configuration</th> <th style="text-align: left;">Minimum Rate</th> </tr> </thead> <tbody> <tr> <td style="vertical-align: top;">Dwelling (at ground level)</td> <td></td> <td>Total area: 24m² located behind the building line Minimum adjacent to a living room: 16m² with a minimum dimension 3m</td> </tr> <tr> <td style="vertical-align: top;">Dwelling (above ground level)</td> <td>Studio</td> <td>4m² / minimum dimension 1.8m</td> </tr> <tr> <td></td> <td>One bedroom dwelling</td> <td>8m² / minimum dimension 2.1m</td> </tr> <tr> <td></td> <td>Two bedroom dwelling</td> <td>11m² / minimum dimension 2.4m</td> </tr> <tr> <td></td> <td>Three + bedroom dwelling</td> <td>15 m² / minimum dimension 2.6m</td> </tr> </tbody> </table> | Dwelling Type | Dwelling / Site Configuration | Minimum Rate | Dwelling (at ground level) | | Total area: 24m ² located behind the building line Minimum adjacent to a living room: 16m ² with a minimum dimension 3m | Dwelling (above ground level) | Studio | 4m ² / minimum dimension 1.8m | | One bedroom dwelling | 8m ² / minimum dimension 2.1m | | Two bedroom dwelling | 11m ² / minimum dimension 2.4m | | Three + bedroom dwelling | 15 m ² / minimum dimension 2.6m |
| Dwelling Type | Dwelling / Site Configuration | Minimum Rate | | | | | | | | | | | | | | | | | |
| Dwelling (at ground level) | | Total area: 24m ² located behind the building line Minimum adjacent to a living room: 16m ² with a minimum dimension 3m | | | | | | | | | | | | | | | | | |
| Dwelling (above ground level) | Studio | 4m ² / minimum dimension 1.8m | | | | | | | | | | | | | | | | | |
| | One bedroom dwelling | 8m ² / minimum dimension 2.1m | | | | | | | | | | | | | | | | | |
| | Two bedroom dwelling | 11m ² / minimum dimension 2.4m | | | | | | | | | | | | | | | | | |
| | Three + bedroom dwelling | 15 m ² / minimum dimension 2.6m | | | | | | | | | | | | | | | | | |
| <p>PO 10.2</p> <p>Private open space positioned to provide convenient access from internal living areas.</p> | <p>DTS/DPF 10.2</p> <p>At least 50% of the required area of private open space is accessible from a habitable room.</p> | | | | | | | | | | | | | | | | | | |
| <p>PO 10.3</p> <p>Private open space is positioned and designed to:</p> <ul style="list-style-type: none"> (a) provide useable outdoor space that suits the needs of occupants; (b) take advantage of desirable orientation and vistas; and (c) adequately define public and private space. | <p>DTS/DPF 10.3</p> <p>None are applicable.</p> | | | | | | | | | | | | | | | | | | |
| Visual privacy | | | | | | | | | | | | | | | | | | | |
| <p>PO 11.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p> | <p>DTS/DPF 11.1</p> <p>Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor. | | | | | | | | | | | | | | | | | | |

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| <p>PO 11.2</p> <p>Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.</p> | <p>DTS/DPF 11.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases |
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Landscaping

| <p>PO 12.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. | <p>DTS/DPF 12.1</p> <p>Residential development incorporates pervious areas for soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area as determined by the following table: <table border="1" style="width: 100%; border-collapse: collapse; margin: 5px 0;"> <thead> <tr> <th style="text-align: left;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="text-align: left;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td><200</td> <td>15%</td> </tr> <tr> <td>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> <ul style="list-style-type: none"> (b) at least 30% of land between the road boundary and the building line. | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | <150 | 10% | <200 | 15% | 200-450 | 20% | >450 | 25% |
|--|---|--|----------------------------|------|-----|------|-----|---------|-----|------|-----|
| Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²) | Minimum percentage of site | | | | | | | | | | |
| <150 | 10% | | | | | | | | | | |
| <200 | 15% | | | | | | | | | | |
| 200-450 | 20% | | | | | | | | | | |
| >450 | 25% | | | | | | | | | | |

Water Sensitive Design

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| <p>PO 13.1</p> <p>Residential development is designed to capture and use stormwater to:</p> <ul style="list-style-type: none"> (a) maximise efficient use of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage runoff quality to maintain, as close as practical, pre-development conditions. | <p>DTS/DPF 13.1</p> <p>None are applicable.</p> |
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Car Parking

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| <p>PO 14.1</p> <p>On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.</p> | <p>DTS/DPF 14.1</p> <p>On-site car parking is provided at the following rates per dwelling:</p> <ul style="list-style-type: none"> (a) 2 or fewer bedrooms - 1 car parking space (b) 3 or more bedrooms - 2 car parking spaces. |
| <p>PO 14.2</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 14.2</p> <p>Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.5m (iii) minimum garage door width of 2.4m per space. |

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| <p>PO 14.3</p> <p>Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.</p> | <p>DTS/DPF 14.3</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m. |
| <p>PO 14.4</p> <p>Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.</p> | <p>DTS/DPF 14.4</p> <p>Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.</p> |
| <p>PO 14.5</p> <p>Residential flat buildings provide dedicated areas for bicycle parking.</p> | <p>DTS/DPF 14.5</p> <p>Residential flat buildings provide one bicycle parking space per dwelling.</p> |
| Overshadowing | |
| <p>PO 15.1</p> <p>Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.</p> | <p>DTS/DPF 15.1</p> <p>None are applicable.</p> |
| Waste | |
| <p>PO 16.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p> | <p>DTS/DPF 16.1</p> <p>A waste bin storage area is provided behind the primary building line that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space).; and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street. |
| <p>PO 16.2</p> <p>Residential flat buildings provide a dedicated area for the on-site storage of waste which is:</p> <ul style="list-style-type: none"> (a) easily and safely accessible for residents and for collection vehicles (b) screened from adjoining land and public roads (c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection. | <p>DTS/DPF 16.2</p> <p>None are applicable.</p> |
| Vehicle Access | |
| <p>PO 17.1</p> <p>Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages and on-street parking.</p> | <p>DTS/DPF 17.1</p> <p>None are applicable.</p> |
| <p>PO 17.2</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p> | <p>DTS/DPF 17.2</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads |

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| | (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing. |
| PO 17.3 Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces. | DTS/DPF 17.3 Driveways are designed and sited so that: (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not more than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site. |
| PO 17.4 Driveways and access points are designed and distributed to optimise the provision of on-street parking. | DTS/DPF 17.4 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements: 1. minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) 2. Minimum car park length of 5.4m where a vehicle can enter or exit a space directly 3. minimum car park length of 6m for an intermediate space located between two other parking spaces. |
| PO 17.5 Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement. | DTS/DPF 17.5 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements: (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented. |
| PO 17.6 Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner. | DTS/DPF 17.6 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre |
| PO 17.7 Dwellings are adequately separated from common driveways and manoeuvring areas. | DTS/DPF 17.7 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles. |
| Storage | |
| PO 18.1 Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs. | DTS/DPF 18.1 Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling: (a) studio: not less than 6m ³ (b) 1 bedroom dwelling / apartment: not less than 8m ³ (c) 2 bedroom dwelling / apartment: not less than 10m ³ (d) 3+ bedroom dwelling / apartment: not less than 12m ³ . |
| Earthworks | |
| PO 19.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography. | DTS/DPF 19.1 The development does not involve: (a) excavation exceeding a vertical height of 1m |

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| | <p>or</p> <p>(b) filling exceeding a vertical height of 1m</p> <p>or</p> <p>(c) a total combined excavation and filling vertical height exceeding 2m.</p> |
| Service connections and infrastructure | |
| <p>PO 20.1</p> <p>Dwellings are provided with appropriate service connections and infrastructure.</p> | <p>DTS/DPF 20.1</p> <p>The site and building:</p> <p>(a) have the ability to be connected to a permanent potable water supply</p> <p>(b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i></p> <p>(c) have the ability to be connected to electricity supply</p> <p>(d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes</p> <p>(e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i>.</p> |
| Site contamination | |
| <p>PO 21.1</p> <p>Land that is suitable for sensitive land uses to provide a safe environment.</p> | <p>DTS/DPF 21.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <p>(a) does not involve a change in the use of land</p> <p>(b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u></p> <p>(c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u>)</p> <p>(d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:</p> <p>(i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that</p> <p>A. <u>site contamination</u> does not exist (or no longer exists) at the land</p> <p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>)</p> <p>or</p> <p>C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other <u>class 1 activity</u> or <u>class 2 activity</u> has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a <u>site contamination declaration form</u>).</p> |

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

| | |
|------|---|
| DO 1 | Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity. |
|------|---|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| General | |
| PO 1.1 Development is located and designed to minimise hazard or nuisance to adjacent development and land uses. | DTS/DPF 1.1 None are applicable. |
| Visual Amenity | |
| PO 2.1 The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by: <ul style="list-style-type: none"> (a) utilising features of the natural landscape to obscure views where practicable (b) siting development below ridgelines where practicable (c) avoiding visually sensitive and significant landscapes (d) using materials and finishes with low-reflectivity and colours that complement the surroundings (e) using existing vegetation to screen buildings (f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on adjacent land. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land. | DTS/DPF 2.3 None are applicable. |
| Rehabilitation | |
| PO 3.1 Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors. | DTS/DPF 3.1 None are applicable. |
| Hazard Management | |
| PO 4.1 Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips. | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms / lookouts) to | DTS/DPF 4.2 None are applicable. |

| | |
|--|-------------------------------------|
| reduce risks to public safety from fire or equipment malfunction. | |
| PO 4.3 Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds. | DTS/DPF 4.3 None are applicable. |
| Electricity Infrastructure and Battery Storage Facilities | |
| PO 5.1 Electricity infrastructure is located to minimise visual impacts through techniques including: (a) siting utilities and services: (i) on areas already cleared of native vegetation (ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity (b) grouping utility buildings and structures with non-residential development, where practicable. | DTS/DPF 5.1 None are applicable. |
| PO 5.2 Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33KV. | DTS/DPF 5.2 None are applicable. |
| PO 5.3 Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts. | DTS/DPF 5.3 None are applicable. |
| Telecommunication Facilities | |
| PO 6.1 The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity. | DTS/DPF 6.1 None are applicable. |
| PO 6.2 Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity. | DTS/DPF 6.2 None are applicable. |
| PO 6.3 Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods: (a) where technically feasible, incorporating the facility within an existing structure that may serve another purpose or all of the following: (b) using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services (c) using materials and finishes that complement the environment (d) screening using landscaping and vegetation, particularly for equipment shelters and huts. | DTS/DPF 6.3 None are applicable. |
| Renewable Energy Facilities | |
| PO 7.1 Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise | DTS/DPF 7.1 None are applicable. |

| environmental impacts as a result of extending transmission infrastructure. | | | | | | | | | | | |
|--|--|--------------------------------------|---------------------------------|---|---------------------------------|---|--|--|--|--|--|
| Renewable Energy Facilities (Wind Farm) | | | | | | | | | | | |
| <p>PO 8.1</p> <p>Visual impact of wind turbine generators on the amenity of residential and tourist development is reduced through appropriate separation.</p> | <p>DTS/DPF 8.1</p> <p>Wind turbine generators are:</p> <ul style="list-style-type: none"> (a) set back at least 2000m from the base of a turbine to any of the following zones: <ul style="list-style-type: none"> (i) Rural Settlement Zone (ii) Township Zone (iii) Rural Living Zone (iv) Rural Neighbourhood Zone <p style="padding-left: 40px;">with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).</p> <ul style="list-style-type: none"> (b) set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation | | | | | | | | | | |
| <p>PO 8.2</p> <p>The visual impact of wind turbine generators on natural landscapes is managed by:</p> <ul style="list-style-type: none"> (a) designing wind turbine generators to be uniform in colour, size and shape (b) coordinating blade rotation and direction (c) mounting wind turbine generators on tubular towers as opposed to lattice towers. | <p>DTS/DPF 8.2</p> <p>None are applicable.</p> | | | | | | | | | | |
| <p>PO 8.3</p> <p>Wind turbine generators and ancillary development minimise potential for bird and bat strike.</p> | <p>DTS/DPF 8.3</p> <p>None are applicable.</p> | | | | | | | | | | |
| <p>PO 8.4</p> <p>Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.</p> | <p>DTS/DPF 8.4</p> <p>No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.</p> | | | | | | | | | | |
| <p>PO 8.5</p> <p>Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.</p> | <p>DTS/DPF 8.5</p> <p>None are applicable.</p> | | | | | | | | | | |
| Renewable Energy Facilities (Solar Power) | | | | | | | | | | | |
| <p>PO 9.1</p> <p>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</p> | <p>DTS/DPF 9.1</p> <p>None are applicable.</p> | | | | | | | | | | |
| <p>PO 9.2</p> <p>Ground mounted solar power facilities allow for movement of wildlife by:</p> <ul style="list-style-type: none"> (a) incorporating wildlife corridors and habitat refuges (b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility. | <p>DTS/DPF 9.2</p> <p>None are applicable.</p> | | | | | | | | | | |
| <p>PO 9.3</p> <p>Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.</p> | <p>DTS/DPF 9.3</p> <p>Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="text-align: center;">Generation Capacity</th> <th style="text-align: center;">Approximate size of array</th> <th style="text-align: center;">Setback from adjoining land boundary</th> <th style="text-align: center;">Setback from conservation areas</th> <th style="text-align: center;">Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living</th> </tr> </thead> <tbody> <tr> <td style="height: 40px;"> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | Generation Capacity | Approximate size of array | Setback from adjoining land boundary | Setback from conservation areas | Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living | | | | | |
| Generation Capacity | Approximate size of array | Setback from adjoining land boundary | Setback from conservation areas | Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living | | | | | | | |
| | | | | | | | | | | | |

| | | | | Zones ¹ | |
|---|--|---------------|-----|--------------------|-------|
| | 50MW> | 80ha+ | 30m | 500m | 2km |
| | 10MW<50MW | 16ha~80ha | 25m | 500m | 1.5km |
| | 5MW<10MW | 8ha to <16ha | 20m | 500m | 1km |
| | 1MW<5MW | 1.6ha to <8ha | 15m | 500m | 500m |
| | 100kW<1MW | 0.5ha<1.6ha | 10m | 500m | 100m |
| | <100kW | <0.5ha | 5m | 500m | 25m |
| Notes: | | | | | |
| 1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones. | | | | | |
| PO 9.4 | Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations. | | | | |
| | DTS/DPF 9.4 None are applicable. | | | | |
| Hydropower / Pumped Hydropower Facilities | | | | | |
| PO 10.1 | Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure. | | | | |
| | DTS/DPF 10.1 None are applicable. | | | | |
| PO 10.2 | Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the incorporation of appropriate liners, dam covers, operational measures or detection systems. | | | | |
| | DTS/DPF 10.2 None are applicable. | | | | |
| PO 10.3 | Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future. | | | | |
| | DTS/DPF 10.3 None are applicable. | | | | |
| Water Supply | | | | | |
| PO 11.1 | Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use. | | | | |
| | DTS/DPF 11.1 Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development. | | | | |
| PO 11.2 | Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided. | | | | |
| | DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling. | | | | |
| Wastewater Services | | | | | |
| PO 12.1 | Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where | | | | |
| | DTS/DPF 12.1 Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of | | | | |

| | |
|---|--|
| <p>this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. | <p>the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011. |
| <p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p> | <p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p> |
| <p>Temporary Facilities</p> | |
| <p>PO 13.1</p> <p>In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.</p> | <p>DTS/DPF 13.1</p> <p>A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.</p> |
| <p>PO 13.2</p> <p>Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and operated to minimise environmental impact.</p> | <p>DTS/DPF 13.2</p> <p>None are applicable.</p> |

Intensive Animal Husbandry and Dairies

Assessment Provisions (AP)

Desired Outcome (DO)

| <h2 style="margin: 0;">Desired Outcome</h2> | |
|---|--|
| <p>DO 1</p> | <p>Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.</p> |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| <h2 style="margin: 0;">Performance Outcome</h2> | <h2 style="margin: 0;">Deemed-to-Satisfy Criteria / Designated Performance Feature</h2> |
|---|---|
| <p>Siting and Design</p> | |
| <p>PO 1.1</p> <p>Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.</p> | <p>DTS/DPF 1.1</p> <p>None are applicable.</p> |
| <p>PO 1.2</p> | <p>DTS/DPF 1.2</p> |

| | |
|---|---|
| Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept. | None are applicable. |
| PO 1.3 Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions. | DTS/DPF 1.4 Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership. |
| PO 1.5 Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from odour on the general public. | DTS/DPF 1.5 Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads. |
| Waste | |
| PO 2.1 Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to: (a) avoid attracting and harbouring vermin (b) avoid polluting water resources (c) be located outside 1% AEP flood event areas. | DTS/DPF 2.1 None are applicable. |
| Soil and Water Protection | |
| PO 3.1 To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from: (a) public water supply reservoirs (b) major watercourses (third order or higher stream) (c) any other watercourse, bore or well used for domestic or stock water supplies. | DTS/DPF 3.1 Intensive animal husbandry operations are set back: (a) 800m or more from a public water supply reservoir (b) 200m or more from a major watercourse (third order or higher stream) (c) 100m or more from any other watercourse, bore or well used for domestic or stock water supplies. |
| PO 3.2 Intensive animal husbandry operations and dairies incorporate appropriately designed effluent and run-off facilities that: (a) have sufficient capacity to hold effluent and runoff from the operations on site (b) ensure effluent does not infiltrate and pollute groundwater, soil or other water resources. | DTS/DPF 3.2 None are applicable. |

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature | | | | | | | | |
|---|--|----------------------|--------------------|-----------------|--|--------|--|---|---|
| General Land Use Compatibility | | | | | | | | | |
| PO 1.1 Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone. | DTS/DPF 1.1 None are applicable. | | | | | | | | |
| PO 1.2 Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts. | DTS/DPF 1.2 None are applicable. | | | | | | | | |
| Hours of Operation | | | | | | | | | |
| PO 2.1 Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to: <ul style="list-style-type: none"> (a) the nature of the development (b) measures to mitigate off-site impacts (c) the extent to which the development is desired in the zone (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land. | DTS/DPF 2.1 Development operating within the following hours: <table border="1" data-bbox="831 880 1489 1529"> <thead> <tr> <th data-bbox="831 880 1098 958">Class of Development</th> <th data-bbox="1098 880 1489 958">Hours of operation</th> </tr> </thead> <tbody> <tr> <td data-bbox="831 958 1098 1081">Consulting room</td> <td data-bbox="1098 958 1489 1081">7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td> </tr> <tr> <td data-bbox="831 1081 1098 1205">Office</td> <td data-bbox="1098 1081 1489 1205">7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td> </tr> <tr> <td data-bbox="831 1205 1098 1529"> Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone </td> <td data-bbox="1098 1205 1489 1529">7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday</td> </tr> </tbody> </table> | Class of Development | Hours of operation | Consulting room | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday | Office | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday | Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday |
| Class of Development | Hours of operation | | | | | | | | |
| Consulting room | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday | | | | | | | | |
| Office | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday | | | | | | | | |
| Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone | 7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday | | | | | | | | |
| Overshadowing | | | | | | | | | |
| PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: <ul style="list-style-type: none"> a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. | DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June. | | | | | | | | |
| PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in: <ul style="list-style-type: none"> a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. | DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following: <ul style="list-style-type: none"> a. for ground level private open space, the smaller of the following: <ul style="list-style-type: none"> i. half the existing ground level open space or ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) | | | | | | | | |

| | |
|--|--|
| | b. for ground level communal open space, at least half of the existing ground level open space. |
| <p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p> | <p>DTS/DPF 3.3</p> <p>None are applicable.</p> |
| <p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p> | <p>DTS/DPF 3.4</p> <p>None are applicable.</p> |
| Activities Generating Noise or Vibration | |
| <p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p> | <p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Noise) Policy criteria.</p> |
| <p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p> | <p>DTS/DPF 4.2</p> <p>None are applicable.</p> |
| <p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p> | <p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p> |
| <p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p> | <p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p> |
| <p>PO 4.5</p> <p>Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p> | <p>DTS/DPF 4.5</p> <p>None are applicable.</p> |
| <p>PO 4.6</p> | <p>DTS/DPF 4.6</p> |

| <p>Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p> | <p>Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Assessment location</th> <th style="width: 50%;">Music noise level</th> </tr> </thead> <tbody> <tr> <td>Externally at the nearest existing or envisaged noise sensitive location</td> <td>Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$)</td> </tr> </tbody> </table> | Assessment location | Music noise level | Externally at the nearest existing or envisaged noise sensitive location | Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$) |
|---|--|---------------------|-------------------|--|---|
| Assessment location | Music noise level | | | | |
| Externally at the nearest existing or envisaged noise sensitive location | Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$) | | | | |
| Air Quality | | | | | |
| <p>PO 5.1</p> <p>Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.</p> | <p>DTS/DPF 5.1</p> <p>None are applicable.</p> | | | | |
| <p>PO 5.2</p> <p>Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:</p> <ul style="list-style-type: none"> (a) incorporating appropriate treatment technology before exhaust emissions are released (b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers. | <p>DTS/DPF 5.2</p> <p>None are applicable.</p> | | | | |
| Light Spill | | | | | |
| <p>PO 6.1</p> <p>External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).</p> | <p>DTS/DPF 6.1</p> <p>None are applicable.</p> | | | | |
| <p>PO 6.2</p> <p>External lighting is not hazardous to motorists and cyclists.</p> | <p>DTS/DPF 6.2</p> <p>None are applicable.</p> | | | | |
| Solar Reflectivity / Glare | | | | | |
| <p>PO 7.1</p> <p>Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.</p> | <p>DTS/DPF 7.1</p> <p>None are applicable.</p> | | | | |
| Electrical Interference | | | | | |
| <p>PO 8.1</p> <p>Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.</p> | <p>DTS/DPF 8.1</p> <p>The building or structure:</p> <ul style="list-style-type: none"> (a) is no greater than 10m in height, measured from existing ground level or (b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable. | | | | |
| Interface with Rural Activities | | | | | |
| <p>PO 9.1</p> <p>Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.</p> | <p>DTS/DPF 9.1</p> <p>None are applicable.</p> | | | | |

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| PO 9.2 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities. | DTS/DPF 9.2 None are applicable. |
| PO 9.3 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities. | DTS/DPF 9.3 Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership. |
| PO 9.4 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities. | DTS/DPF 9.4 Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership. |
| PO 9.5 Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities. | DTS/DPF 9.5 Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following: <ul style="list-style-type: none"> (a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility (b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day (c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres (d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes (e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes. |
| PO 9.6 Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities. | DTS/DPF 9.6 None are applicable. |
| PO 9.7 Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques. | DTS/DPF 9.7 None are applicable. |
| Interface with Mines and Quarries (Rural and Remote Areas) | |
| PO 10.1 Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration. | DTS/DPF 10.1 Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i> . |

Land Division

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

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| DO 1 | <p>Land division:</p> <ul style="list-style-type: none"> (a) creates allotments with the appropriate dimensions and shape for their intended use (b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure (c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features (d) facilitates solar access through allotment orientation (e) creates a compact urban form that supports active travel, walkability and the use of public transport (f) avoids areas of high natural hazard risk. |
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| All land division | |
| Allotment configuration | |
| PO 1.1 Land division creates allotments suitable for their intended use. | DTS/DPF 1.1 Division of land satisfies (a) or (b): <ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments. |
| PO 1.2 Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality. | DTS/DPF 1.2 None are applicable. |
| Design and Layout | |
| PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Land division maximises the number of allotments that face public open space and public streets. | DTS/DPF 2.3 None are applicable. |
| PO 2.4 Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure. | DTS/DPF 2.4 None are applicable. |
| PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services. | DTS/DPF 2.5 None are applicable. |
| PO 2.6 Land division results in watercourses being retained within open space and development taking place on land not subject to flooding. | DTS/DPF 2.6 None are applicable. |
| PO 2.7 | DTS/DPF 2.7 |

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| Land division results in legible street patterns connected to the surrounding street network. | None are applicable. |
| PO 2.8 Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees. | DTS/DPF 2.8 None are applicable. |
| Roads and Access | |
| PO 3.1 Land division provides allotments with access to an all-weather public road. | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic. | DTS/DPF 3.2 None are applicable. |
| PO 3.3 Land division does not impede access to publicly owned open space and/or recreation facilities. | DTS/DPF 3.3 None are applicable. |
| PO 3.4 Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles. | DTS/DPF 3.4 None are applicable. |
| PO 3.5 Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture. | DTS/DPF 3.5 None are applicable. |
| PO 3.6 Road reserves accommodate stormwater drainage and public utilities. | DTS/DPF 3.6 None are applicable. |
| PO 3.7 Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites. | DTS/DPF 3.7 None are applicable. |
| PO 3.8 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic. | DTS/DPF 3.8 None are applicable. |
| PO 3.9 Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network. | DTS/DPF 3.9 None are applicable. |
| PO 3.10 Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes. | DTS/DPF 3.10 None are applicable. |
| PO 3.11 Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians. | DTS/DPF 3.11 None are applicable. |
| Infrastructure | |
| PO 4.1 Land division incorporates public utility services within road reserves or dedicated easements. | DTS/DPF 4.1 None are applicable. |
| PO 4.2 Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment. | DTS/DPF 4.2 Each allotment can be connected to: (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum |

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| | <p>predicted wastewater volume generated by subsequent development of the proposed allotment</p> <p>or</p> <p>(b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.</p> |
| <p>PO 4.3</p> <p>Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p> | <p>DTS/DPF 4.3</p> <p>Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.</p> |
| <p>PO 4.4</p> <p>Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.</p> | <p>DTS/DPF 4.4</p> <p>None are applicable.</p> |
| <p>PO 4.5</p> <p>Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.</p> | <p>DTS/DPF 4.5</p> <p>None are applicable.</p> |
| <p>PO 4.6</p> <p>Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape feature.</p> | <p>DTS/DPF 4.6</p> <p>None are applicable.</p> |
| Minor Land Division (Under 20 Allotments) | |
| Open Space | |
| <p>PO 5.1</p> <p>Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.</p> | <p>DTS/DPF 5.1</p> <p>None are applicable.</p> |
| Solar Orientation | |
| <p>PO 6.1</p> <p>Land division for residential purposes facilitates solar access through allotment orientation.</p> | <p>DTS/DPF 6.1</p> <p>None are applicable.</p> |
| Water Sensitive Design | |
| <p>PO 7.1</p> <p>Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p> | <p>DTS/DPF 7.1</p> <p>None are applicable.</p> |
| <p>PO 7.2</p> <p>Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p> | <p>DTS/DPF 7.2</p> <p>None are applicable.</p> |
| Battle-Axe Development | |
| <p>PO 8.1</p> <p>Battle-axe development appropriately responds to the existing neighbourhood context.</p> | <p>DTS/DPF 8.1</p> <p>Allotments are not in the form of a battle-axe arrangement.</p> |
| <p>PO 8.2</p> <p>Battle-axe development designed to allow safe and convenient movement.</p> | <p>DTS/DPF 8.2</p> <p>The handle of a battle-axe development:</p> <p>(a) has a minimum width of 4m</p> <p>or</p> <p>(b) where more than 3 allotments are proposed, a minimum width of 5.5m.</p> |
| <p>PO 8.3</p> <p>Battle-axe allotments and/or common land are of a suitable size and</p> | <p>DTS/DPF 8.3</p> <p>Battle-axe development allows a B85 passenger vehicle to enter and exit</p> |

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| dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner. | parking spaces in no more than a three-point turn manoeuvre. |
| PO 8.4 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management. | DTS/DPF 8.4 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point). |
| Major Land Division (20+ Allotments) | |
| Open Space | |
| PO 9.1 Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration. | DTS/DPF 9.1 None are applicable. |
| PO 9.2 Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation. | DTS/DPF 9.2 None are applicable. |
| PO 9.3 Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities. | DTS/DPF 9.3 None are applicable. |
| Water Sensitive Design | |
| PO 10.1 Land division creating 20 or more residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems. | DTS/DPF 10.1 None are applicable. |
| PO 10.2 Land division creating 20 or more non-residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems. | DTS/DPF 10.2 None are applicable. |
| PO 10.3 Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies. | DTS/DPF 10.3 None are applicable. |
| Solar Orientation | |
| PO 11.1 Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions. | DTS/DPF 11.1 None are applicable. |

Marinas and On-Water Structures

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

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| DO 1 | Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment. |
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| Navigation and Safety | |
| PO 1.1 Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 The operation of wharves is not impaired by marinas and on-water structures. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Navigation and access channels are not impaired by marinas and on-water structures. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Commercial shipping lanes are not impaired by marinas and on-water structures. | DTS/DPF 1.4 Marinas and on-water structures are set back 250m or more from commercial shipping lanes. |
| PO 1.5 Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station. | DTS/DPF 1.5 On-water structures are set back: <ul style="list-style-type: none"> (a) 3km or more from upstream water supply pumping station take-off points (b) 500m or more from downstream water supply pumping station take-off points. |
| PO 1.6 Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures. | DTS/DPF 1.6 None are applicable. |
| Environmental Protection | |
| PO 2.1 Development is sited and designed to facilitate water circulation and exchange. | DTS/DPF 2.1 None are applicable. |

Open Space and Recreation

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

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| DO 1 | Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space. |
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| Land Use and Intensity | |
| PO 1.1 Recreation facilities are compatible with surrounding land uses and activities. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Open space areas include natural or landscaped areas using locally indigenous plant species and large trees. | DTS/DPF 1.2 None are applicable. |
| Design and Siting | |
| PO 2.1 Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Open space and recreation facilities incorporate park furniture, shaded areas and resting places. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities. | DTS/DPF 2.3 None are applicable. |
| Pedestrians and Cyclists | |
| PO 3.1 Open space incorporates: (a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes; (b) safe crossing points where pedestrian routes intersect the road network; (c) easily identified access points. | DTS/DPF 3.1 None are applicable. |
| Usability | |
| PO 4.1 Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation. | DTS/DPF 4.1 None are applicable. |
| Safety and Security | |
| PO 5.1 Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible. | DTS/DPF 5.1 None are applicable. |
| PO 5.2 Play equipment is located to maximise opportunities for passive surveillance. | DTS/DPF 5.2 None are applicable. |
| PO 5.3 Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park. | DTS/DPF 5.3 None are applicable. |
| PO 5.4 | DTS/DPF 5.4 |

| | |
|---|-------------------------------------|
| Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment. | None are applicable. |
| PO 5.5 Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities. | DTS/DPF 5.5 None are applicable. |
| PO 5.6 Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits. | DTS/DPF 5.6 None are applicable. |
| Signage | |
| PO 6.1 Signage is provided at entrances to and within the open space and recreation facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like. | DTS/DPF 6.1 None are applicable. |
| Buildings and Structures | |
| PO 7.1 Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive. | DTS/DPF 7.1 None are applicable. |
| PO 7.2 Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open. | DTS/DPF 7.2 None are applicable. |
| PO 7.3 Development in open space is constructed to minimise the extent of impervious surfaces. | DTS/DPF 7.3 None are applicable. |
| PO 7.4 Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve. | DTS/DPF 7.4 None are applicable. |
| Landscaping | |
| PO 8.1 Open space and recreation facilities provide for the planting and retention of large trees and vegetation. | DTS/DPF 8.1 None are applicable. |
| PO 8.2 Landscaping in open space and recreation facilities provides shade and windbreaks: (a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas. | DTS/DPF 8.2 None are applicable. |
| PO 8.3 Landscaping in open space facilitates habitat for local fauna and facilitates biodiversity. | DTS/DPF 8.3 None are applicable. |
| PO 8.4 Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable. | DTS/DPF 8.4 None are applicable. |

Out of Activity Centre Development

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO1 | The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced. |

Performance Outcomes and Deemed to Satisfy / Designated Performance Outcome Criteria

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| PO 1.1 Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres: <ul style="list-style-type: none"> (a) as primary locations for shopping, administrative, cultural, entertainment and community services (b) as a focus for regular social and business gatherings (c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities: <ul style="list-style-type: none"> (a) that support the needs of local residents and workers, particularly in underserved locations (b) at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre. | DTS/DPF 1.2 None are applicable. |

Resource Extraction

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Resource extraction activities are developed in a manner that minimises human and environmental impacts. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|---|
| Land Use and Intensity | |
| PO 1.1 Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas. | DTS/DPF 1.1 None are applicable. |

| Policy24 | P&D Code (in effect) Version 2023.6 27/04/2023 |
|--|--|
| PO 1.2 Resource extraction activities avoid damage to cultural sites or artefacts. | DTS/DPF 1.2 None are applicable. |
| Water Quality | |
| PO 2.1 Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site. | DTS/DPF 2.1 None are applicable. |
| Separation Treatments, Buffers and Landscaping | |
| PO 3.1 Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation. | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding. | DTS/DPF 3.2 None are applicable. |

Site Contamination

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|---|
| DO 1 | Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|--|
| PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use. | DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d): <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the |

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| | <p>proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p> |
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Tourism Development

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|---|--|
| General | |
| PO 1.1 Tourism development complements and contributes to local, natural, cultural or historical context where: <ul style="list-style-type: none"> (a) it supports immersive natural experiences (b) it showcases South Australia's landscapes and produce (c) its events and functions are connected to local food, wine and nature. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact. | DTS/DPF 1.2 None are applicable. |
| Caravan and Tourist Parks | |
| PO 2.1 Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Occupants are provided privacy and amenity through landscaping and fencing. | DTS/DPF 2.2 None are applicable. |
| PO 2.3 Communal open space and centrally located recreation facilities are provided for guests and visitors. | DTS/DPF 2.3 12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation. |
| PO 2.4 | DTS/DPF 2.4 |

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| Perimeter landscaping is used to enhance the amenity of the locality. | None are applicable. |
| PO 2.5 Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development. | DTS/DPF 2.5 None are applicable. |
| PO 2.6 Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations. | DTS/DPF 2.6 None are applicable. |
| Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972 | |
| PO 3.1 Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire). | DTS/DPF 3.1 None are applicable. |
| PO 3.2 Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided. | DTS/DPF 3.2 None are applicable. |
| PO 3.3 Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved. | DTS/DPF 3.3 None are applicable. |
| PO 3.4 Tourist accommodation is designed to prevent conversion to private dwellings through: <ul style="list-style-type: none"> (a) comprising a minimum of 10 accommodation units (b) clustering separated individual accommodation units (c) being of a size unsuitable for a private dwelling (d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling. | DTS/DPF 3.4 None are applicable. |

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / |
|---------------------|------------------------------|
|---------------------|------------------------------|

Designated Performance Feature

| Movement Systems | |
|--|---|
| PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths. | DTS/DPF 1.4 All vehicle manoeuvring occurs onsite. |
| Sightlines | |
| PO 2.1 Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians. | DTS/DPF 2.1 None are applicable. |
| PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians. | DTS/DPF 2.2 None are applicable. |
| Vehicle Access | |
| PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads. | DTS/DPF 3.1 The access is: (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing. |
| PO 3.2 Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic. | DTS/DPF 3.2 None are applicable. |
| PO 3.3 Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use. | DTS/DPF 3.3 None are applicable. |
| PO 3.4 Access points are sited and designed to minimise any adverse impacts on neighbouring properties. | DTS/DPF 3.4 None are applicable. |
| PO 3.5 Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets. | DTS/DPF 3.5 Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, |

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| | <p>infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</p> <ul style="list-style-type: none"> (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing. |
| <p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p> | <p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <ul style="list-style-type: none"> (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided (b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> (i) a single access point no greater than 6m in width is provided or (ii) not more than two access points with a width of 3.5m each are provided. |
| <p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p> | <p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <ul style="list-style-type: none"> (a) 80 km/h road - 110m (b) 70 km/h road - 90m (c) 60 km/h road - 70m (d) 50km/h or less road - 50m. |
| <p>PO 3.8</p> <p>Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.</p> | <p>DTS/DPF 3.8</p> <p>None are applicable.</p> |
| <p>PO 3.9</p> <p>Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.</p> | <p>DTS/DPF 3.9</p> <p>None are applicable.</p> |
| Access for People with Disabilities | |
| <p>PO 4.1</p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p> | <p>DTS/DPF 4.1</p> <p>None are applicable.</p> |
| Vehicle Parking Rates | |
| <p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. | <p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund. |
| Vehicle Parking Areas | |
| <p>PO 6.1</p> <p>Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving</p> | <p>DTS/DPF 6.1</p> <p>Movement between vehicle parking areas within the site can occur without the need to use a public road.</p> |

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| from one part of a parking area to another. | |
| PO 6.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like. | DTS/DPF 6.2 None are applicable. |
| PO 6.3 Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points. | DTS/DPF 6.3 None are applicable. |
| PO 6.4 Pedestrian linkages between parking areas and the development are provided and are safe and convenient. | DTS/DPF 6.4 None are applicable. |
| PO 6.5 Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users. | DTS/DPF 6.5 None are applicable. |
| PO 6.6 Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site. | DTS/DPF 6.6 Loading areas and designated parking spaces are wholly located within the site. |
| PO 6.7 On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times. | DTS/DPF 6.7 None are applicable. |
| Undercroft and Below Ground Garaging and Parking of Vehicles | |
| PO 7.1 Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles. | DTS/DPF 7.1 None are applicable. |
| Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks | |
| PO 8.1 Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants. | DTS/DPF 8.1 None are applicable. |
| PO 8.2 Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement. | DTS/DPF 8.2 None are applicable. |
| Bicycle Parking in Designated Areas | |
| PO 9.1 The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode. | DTS/DPF 9.1 Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements. |
| PO 9.2 Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft. | DTS/DPF 9.2 None are applicable. |
| PO 9.3 Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport. | DTS/DPF 9.3 None are applicable. |

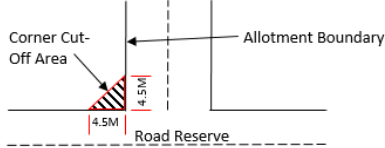
| Corner Cut-Offs | |
|--|--|
| <p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p> | <p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p>  |

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

| Class of Development | Car Parking Rate (unless varied by Table 2 onwards) |
|---|--|
| <p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p> | |
| Residential Development | |
| Detached Dwelling | <p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> |
| Group Dwelling | <p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p> |
| Residential Flat Building | <p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p> |
| Row Dwelling where vehicle access is from the primary street | <p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> |
| Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded) | <p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> |
| Semi-Detached Dwelling | <p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as</p> |

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| | a bedroom) - 2 spaces per dwelling, 1 of which is to be covered. |
| Aged / Supported Accommodation | |
| Retirement village | Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking. |
| Supported accommodation | 0.3 spaces per bed. |
| Residential Development (Other) | |
| Ancillary accommodation | No additional requirements beyond those associated with the main dwelling. |
| Residential park | Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking. |
| Student accommodation | 0.3 spaces per bed. |
| Workers' accommodation | 0.5 spaces per bed plus 0.2 spaces per bed for visitor parking. |
| Tourist | |
| Caravan park / tourist park | Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation. Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation. A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin. |
| Tourist accommodation | 1 car parking space per accommodation unit / guest room. |
| Commercial Uses | |
| Auction room/ depot | 1 space per 100m ² of building floor area plus an additional 2 spaces. |
| Automotive collision repair | 3 spaces per service bay. |
| Call centre | 8 spaces per 100m ² of gross leasable floor area. |
| Motor repair station | 3 spaces per service bay. |
| Office | 4 spaces per 100m ² of gross leasable floor area. |
| Retail fuel outlet | 3 spaces per 100m ² gross leasable floor area. |
| Service trade premises | 2.5 spaces per 100m ² of gross leasable floor area 1 space per 100m ² of outdoor area used for display purposes. |
| Shop (no commercial kitchen) | 5.5 spaces per 100m ² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. 5 spaces per 100m ² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. |
| Shop (in the form of a bulky goods outlet) | 2.5 spaces per 100m ² of gross leasable floor area. |
| Shop (in the form of a restaurant or involving a commercial kitchen) | Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat. Premises with take-away service but with no seats - 12 spaces per 100m ² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point. Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point. |
| Community and Civic Uses | |
| Childcare centre | 0.25 spaces per child |
| Community facility | 10 spaces per 100m ² of total floor area. |
| Educational establishment | For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site. For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm |

| | |
|-------------------------------------|---|
| | within 300m of the site. |
| | For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time. |
| Hall / meeting hall | 0.2 spaces per seat. |
| Library | 4 spaces per 100m ² of total floor area. |
| Place of worship | 1 space for every 3 visitor seats. |
| Pre-school | 1 per employee plus 0.25 per child (drop off/pick up bays) |
| Health Related Uses | |
| Consulting room | 4 spaces per consulting room excluding ancillary facilities. |
| Hospital | 4.5 spaces per bed for a public hospital. 1.5 spaces per bed for a private hospital. |
| Recreational and Entertainment Uses | |
| Cinema complex | .2 spaces per seat. |
| Concert hall / theatre | 0.2 spaces per seat. |
| Hotel | 1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant. |
| Indoor recreation facility | 6.5 spaces per 100m ² of total floor area for a Fitness Centre 4.5 spaces per 100m ² of total floor area for all other Indoor recreation facilities. |
| Industry/Employment Uses | |
| Fuel depot | 1.5 spaces per 100m ² total floor area 1 spaces per 100m ² of outdoor area used for fuel depot activity purposes. |
| Industry | 1.5 spaces per 100m ² of total floor area. |
| Store | 0.5 spaces per 100m ² of total floor area. |
| Timber yard | 1.5 spaces per 100m ² of total floor area 1 space per 100m ² of outdoor area used for display purposes. |
| Warehouse | 0.5 spaces per 100m ² total floor area. |
| Other Uses | |
| Funeral Parlour | 1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour. |
| Radio or Television Station | 5 spaces per 100m ² of total building floor area. |

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

| Class of Development | Car Parking Rate | | Designated Areas |
|------------------------------|---|--|------------------|
| | <p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p> | | |
| | <p>Minimum number of spaces</p> | <p>Maximum number of spaces</p> | |
| <p>Development generally</p> | | | |

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|---|---|--|---|
| All classes of development | No minimum. | <p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p> | <p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p> |
| Non-residential development | | | |
| Non-residential development excluding tourist accommodation | 3 spaces per 100m2 of gross leasable floor area. | 5 spaces per 100m2 of gross leasable floor area. | <p>City Living Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p> |
| Non-residential development excluding tourist accommodation | 3 spaces per 100m2 of gross leasable floor area. | 6 spaces per 100m2 of gross leasable floor area. | <p>Strategic Innovation Zone</p> <p>Suburban Activity Centre Zone</p> <p>Suburban Business Zone</p> <p>Business Neighbourhood Zone</p> <p>Suburban Main Street Zone</p> <p>Urban Activity Centre Zone</p> |
| Tourist accommodation | 1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms | 1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms | <p>City Living Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p> |
| Residential development | | | |
| Residential component of a multi-storey building | <p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor</p> | None specified. | <p>City Living Zone</p> <p>Strategic Innovation Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> |

| | | | |
|---------------------------|---|-----------------|---|
| | parking. | | Urban Corridor (Main Street) Zone Urban Neighbourhood Zone |
| Residential flat building | Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking. | None specified. | City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone |

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

| Criteria | Exceptions |
|---|--|
| <p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p> | <p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p> <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p> |

[NOTE(S): (1)Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Table 3 - Off-Street Bicycle Parking Requirements

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

| Class of Development | Bicycle Parking Rate |
|----------------------------|---|
| | Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type. |
| Consulting room | 1 space per 20 employees plus 1 space per 20 consulting rooms for customers. |
| Educational establishment | For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors. For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students. |
| Hospital | 1 space per 15 beds plus 1 space per 30 beds for visitors. |
| Indoor recreation facility | 1 space per 4 employees plus 1 space per 200m ² of gross leasable floor area for visitors. |
| Licensed Premises | 1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area. |
| Office | 1 space for every 200m ² of gross leasable floor area plus 2 spaces plus 1 space per 1000m ² of gross leasable floor area for visitors. |
| Pre-school | 1 space per 20 full time employees plus 1 space per 40 full time children. |

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| Recreation area | 1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers. | |
| Residential flat building | Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors. | |
| Residential component of a multi-storey building | Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors. | |
| Shop | 1 space for every 300m2 of gross leasable floor area plus 1 space for every 600m2 of gross leasable floor area for customers. | |
| Tourist accommodation | 1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors. | |
| Schedule to Table 3 | Designated Area | Relevant part of the State |
| | | The bicycle parking rate applies to a designated area located in a relevant part of the State described below. |
| | All zones | City of Adelaide |
| | Business Neighbourhood Zone Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Suburban Main Street Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone | Metropolitan Adelaide |

Waste Treatment and Management Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|------------------------|---|
| DO 1 | Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|----------------------------|--|
| | Siting |

| | |
|---|--|
| PO 1.1 | DTS/DPF 1.1 |
| Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions. | None are applicable. |
| Soil and Water Protection | |
| PO 2.1 | DTS/DPF 2.1 |
| Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as: | None are applicable. |
| <ul style="list-style-type: none"> (a) containing potential groundwater and surface water contaminants within waste operations areas (b) diverting clean stormwater away from waste operations areas and potentially contaminated areas (c) providing a leachate barrier between waste operations areas and underlying soil and groundwater. | |
| PO 2.2 | DTS/DPF 2.2 |
| Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources. | Wastewater lagoons are set back 50m or more from watercourse banks. |
| PO 2.3 | DTS/DPF 2.3 |
| Wastewater lagoons are designed and sited to: | None are applicable. |
| <ul style="list-style-type: none"> (a) avoid intersecting underground waters; (b) avoid inundation by flood waters; (c) ensure lagoon contents do not overflow; (d) include a liner designed to prevent leakage. | |
| PO 2.4 | DTS/DPF 2.4 |
| Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources. | Waste operations areas are set back 100m or more from watercourse banks. |
| Amenity | |
| PO 3.1 | DTS/DPF 3.1 |
| Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity. | None are applicable. |
| PO 3.2 | DTS/DPF 3.2 |
| Access routes to waste treatment and management facilities via residential streets is avoided. | None are applicable. |
| PO 3.3 | DTS/DPF 3.3 |
| Litter control measures minimise the incidence of windblown litter. | None are applicable. |
| PO 3.4 | DTS/DPF 3.4 |
| Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation. | None are applicable. |
| Access | |
| PO 4.1 | DTS/DPF 4.1 |
| Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction. | None are applicable. |
| PO 4.2 | DTS/DPF 4.2 |
| Suitable access for emergency vehicles is provided to and within waste treatment or management sites. | None are applicable. |

| Fencing and Security | |
|--|--|
| PO 5.1 Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public. | DTS/DPF 5.1 Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site. |
| Landfill | |
| PO 6.1 Landfill gas emissions are managed in an environmentally acceptable manner. | DTS/DPF 6.1 None are applicable. |
| PO 6.2 Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment. | DTS/DPF 6.2 Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone. |
| PO 6.3 Landfill facilities are located on land that is not subject to land slip. | DTS/DPF 6.3 None are applicable. |
| PO 6.4 Landfill facilities are separated from areas subject to flooding. | DTS/DPF 6.4 Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event. |
| Organic Waste Processing Facilities | |
| PO 7.1 Organic waste processing facilities are separated from the coast to avoid potential environment harm. | DTS/DPF 7.1 Organic waste processing facilities are set back 500m or more from the coastal high water mark. |
| PO 7.2 Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect. | DTS/DPF 7.2 None are applicable. |
| PO 7.3 Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation and enjoyment. | DTS/DPF 7.3 Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or a Conservation Zone. |
| PO 7.4 Organic waste processing facilities are located on land that is not subject to land slip. | DTS/DPF 7.4 None are applicable. |
| PO 7.5 Organic waste processing facilities separated from areas subject to flooding. | DTS/DPF 7.5 Organic waste processing facilities are set back 500m or more from land inundated in a 1% AEP flood event. |
| Major Wastewater Treatment Facilities | |
| PO 8.1 Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality. | DTS/DPF 8.1 None are applicable. |
| PO 8.2 Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes. | DTS/DPF 8.2 None are applicable. |

Workers' accommodation and Settlements

Assessment Provisions (AP)

Desired Outcome (DO)

| Desired Outcome | |
|-----------------|--|
| DO 1 | Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts. |

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

| Performance Outcome | Deemed-to-Satisfy Criteria / Designated Performance Feature |
|--|---|
| PO 1.1 Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape. | DTS/DPF 1.1 None are applicable. |
| PO 1.2 Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land. | DTS/DPF 1.2 None are applicable. |
| PO 1.3 Workers' accommodation and settlements are built with materials and colours that blend with the landscape. | DTS/DPF 1.3 None are applicable. |
| PO 1.4 Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers. | DTS/DPF 1.4 None are applicable. |

No criteria applies to this land use. Please check the definition of the land use for further detail.

THESE GENERAL BUILDING COMPLIANCE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES & SPECIFICATIONS

SITE PREPARATION NOTES:

ALL VEGETATION AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AND PAVING AREAS BEFORE ANY FILLING IS PLACED IN POSITION.

ANY EXCAVATION OR FILLING REQUIRED TO PROVIDE A LEVEL SURFACE UNDER THE CONCRETE SLAB SHALL BE IN ACCORDANCE WITH THE ENGINEER'S REPORT.

ALL FINISHED LEVELS TO BE VERIFIED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

ALL SITE AND SETOUT DIMENSIONS SHALL BE CHECKED AND VERIFIED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

FOOTINGS AND SLAB NOTES:

CONCRETE FOOTINGS AND SLABS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S REPORT.

ALL CONCRETE SHALL BE HANDLED, PLACED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3600.

ALL REINFORCING USED SHALL COMPLY WITH AS 2870.

TERMITE PROTECTION SHALL COMPLY WITH AS 3660.1

A CERTIFICATE COMPLYING WITH AS 3660.1 - STATING METHOD AND DATE OF PROTECTION SHALL BE ISSUED BY THE APPLICATOR.

PAVING SETOUT AND LEVELS:

THE DRAWING IS SCHEMATIC ONLY TO SHOW DESIRED RESULTS.

ACHIEVE SPOT LEVELS AS NOMINATED ON DRAWINGS. REFER ALSO TO ENGINEERING DRAWINGS.

PATHS ARE GENERALLY 1000mm WIDE WITH 30mm CROSS FALL (UNLESS OTHERWISE NOTED) LONGITUDINAL FALLS ARE TO BE AS FLAT AS POSSIBLE.

MOST PAVING AT 100mm BELOW FINISHED SLAB LEVEL.

TOILET DOOR:

DOOR TO TOILET TO BE FITTED WITH REMOVABLE HINGES AND / OR INSTALLED IN ACCORDANCE WITH BCA 3.8.3.3

TIMBER FRAMING NOTES:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684 PART 2 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) NON-CYCLONIC AREAS.

ALL EXPOSED TIMBER MEMBERS SHALL BE OF A SUITABLE DURABILITY CLASS AND PRESERVATION TREATED IF REQUIRED IN ACCORDANCE WITH AS 1684 PART 2 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) NON-CYCLONIC AREAS.

ALL METAL USED IN STRUCTURAL TIMBER CONNECTIONS SHALL BE PROVIDED WITH CORROSION PROTECTION APPROPRIATE FOR THE PARTICULAR CONDITIONS OF USE.

PROVIDE AS NECESSARY ALL ADDITIONAL TIMBER FRAMING LIKE SOFFIT AND CEILING LININGS, GABLE CLADDING AND SKYLIGHTS ETC.

METALWORK NOTES:

ALL MATERIALS, BOLTS AND OTHER FIXINGS SHALL BE SELECTED SO THAT DIRECT CONTACT BETWEEN INCOMPATIBLE METALS OR ALLOYS DOES NOT OCCUR.

WHERE THE USE OF INCOMPATIBLE MATERIALS IS UNAVOIDABLE, THEY SHALL BE SEPARATED BY USE OF AN IMPERVIOUS, NON-CONDUCTING MATERIAL.

ALL STEELWORK NOT ENCASED IN CONCRETE SHALL BE SUITABLY PROTECTED AGAINST CORROSION.

ALL STEELWORK IN CONTACT WITH THE GROUND SHALL BE HOT-DIPPED GALVANISED.

MASONRY NOTES:

ALL FINISHED MASONRY SHALL BE LEFT CLEAN, AND GAPS AT TOPS OF RAKED WALLS, AROUND SERVICE PIPES AND OTHER JUNCTIONS SHALL BE FILLED.

ALL FLASHINGS, MEMBRANES, AND TIES WHERE REQUIRED SHALL BE IN ACCORDANCE WITH THE BCA.

ALL CAVITIES AND REQUIRED WEEPHOLES SHALL BE LEFT CLEAN AND FREE OF MORTAR DROPPINGS.

MASONRY WALL CONSTRUCTION SHALL COMPLY WITH AS 3700 - MASONRY STRUCTURES OR AS 4773 - MASONRY FOR SMALL BUILDINGS.

BATHROOM VENTILATION:

EXHAUST IN THE BATHROOM AND ENSUITE MUST ACHIEVE A FLOW RATE OF 25L/s FOR BATHROOM OR SANITARY COMPARTMENT IN ACCORDANCE WITH BCA P2.4.7

WET AREA NOTES:

WHERE REQUIRED AS A SUBSTRATE IN WET AREAS, PROPRIETARY WATER RESISTANT LININGS MUST BE SUITABLE FOR THE INTENDED FINISH AND MUST BE FIXED TO THE FRAMING IN ACCORDANCE WITH THE MANUFACTURERS DETAILS.

ALL WET AREA DETAILS TO COMPLY WITH AS 3740 - WATERPROOFING OF DOMESTIC WET AREAS . REFER ASPEX ADDENDUM.

WATERPROOFING OF WET AREAS TO BE IN ACCORDANCE WITH AS3740-2010 AND BCA-TABLE 3.8.1.1

PLUMBING, SANITARY

DRAINAGE AND GAS NOTES:

THE INSTALLATION OF ALL HOT AND COLD WATER SERVICES, SANITARY WASTES AND DRAINAGE SHALL BE CARRIED OUT TO THE APPROVAL OF SA WATER AND WHERE APPLICABLE THE SOUTH AUSTRALIAN HEALTH COMMISSION.

ALL GAS FITTING WORK MUST BE INSTALLED BY A REGISTERED GAS FITTER OR REGISTERED RESTRICTED LPG INSTALLER.

ALL GAS INSTALLATIONS TO BE CARRIED OUT IN ACCORDANCE WITH AG601 AND A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED IN ACCORDANCE WITH THE GAS ACT AND REGULATIONS 1997 (AS AMENDED).

INTERNAL LINING NOTES:

ALL NON WETAREA WALL LININGS SHALL BE 10mm PLASTERBOARD UNLESS OTHERWISE NOTED.

ALL CEILING LININGS SHALL BE 10mm PLASTERBOARD SUITABLE FOR SPANNING 600mm JOIST SPACINGS UNLESS OTHERWISE NOTED.

GLAZING NOTES:

ALL GLAZING AND GLAZED ASSEMBLIES SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH AS 1288 - 2006

ALL SAFETY GLASS SHALL BE LEGIBLY MARKED OR SHALL BE CERTIFIED.

DOORS AND WINDOWS:

WINDOWS TO BE INSTALLED AS PER AS 2047 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS

ALL DOOR AND WINDOWS SIZES ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION BY SITE MEASUREMENT.

ALL WINDOWS TO BE PROVIDED WITH INSECT SCREEN & KEY LOCKED. WHERE POSSIBLE ALL WINDOWS TO BE KEYED ALIKE.

AWNING WINDOWS TO BE PROVIDED WITH WINDER MECHANISM.

ROOFING AND ROOF

PLUMBING NOTES:

THE ROOF LAYOUT DRAWN IS DIAGRAMATIC ONLY AND ANY VARIATION TO THE LAYOUT SHALL BE FIRST DISCUSSED WITH THE DESIGNER.

THE ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPING AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

EAVES GUTTERS TO BE PROVIDED WITH UNIFORM MINIMUM FALLS OF 1:500 AND ALL ROOF STORMWATER SHALL BE DIVERTED AWAY FROM THE FOOTINGS AND BUILDING IN ACCORDANCE WITH THE ENGINEER'S REPORT.

ALL ROOF CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

RAINWATER TANK REQUIREMENTS:

A RAINWATER TANK WITH A MINIMUM STORAGE CAPACITY OF 1000 LITRES SHALL BE INSTALLED UNLESS NOTED OTHERWISE.

60% OF THE ROOF CATCHMENT AREA TO BE CONNECTED TO THE RAIN WATER TANKS UNLESS NOTED OTHERWISE.

THE RAINWATER TANK MUST BE PLUMBED TO AT LEAST A WATER CLOSET OR A WATER HEATER OR ALL LAUNDRY COLD WATER OUTLETS.

THE RAINWATER TANK MUST BE FITTED WITH AN OVERFLOW DEVICE THAT DISPOSES WATER IN AN APPROPRIATE MANNER WITHOUT AFFECTING ADJOINING PROPERTIES.

THE INLET AND OUTLET OF THE RAINWATER TANK SHALL BE FITTED WITH A NON-DEGRADABLE MOSQUITO PROOF SCREEN.

ELECTRICAL NOTES:

ALL ELECTRICAL INSTALLATIONS AND WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3000 AND ENERGY SA

ALL REQUIRED SELF-CONTAINED SMOKE ALARMS SHALL COMPLY WITH AS 3786 OR BE LISTED IN THE SSL REGISTER OF ACCREDITED PRODUCTS AND SHALL BE CONNECTED TO THE CONSUMER MAINS POWER WITH A 9V BATTERY BACKUP. IF MORE THAN ONE ALARM IN THE DWELLING, THEY MUST BE INTER-CONNECTED.

SARKING:

CONTRACTOR TO INSTALL SARKING TO ALL NEW EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH AS/NZS4200.1 & 2 .

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| A | ISSUE FOR APPROVAL | GZ | 29/05/23 |
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project
EXTENSION OF PERGOLA & ADDITION OF NEW ROOF OVER PORTICO

address
44 Torrens Street,
College Park, SA.




client
Eminent Homes (Tom Pierce)

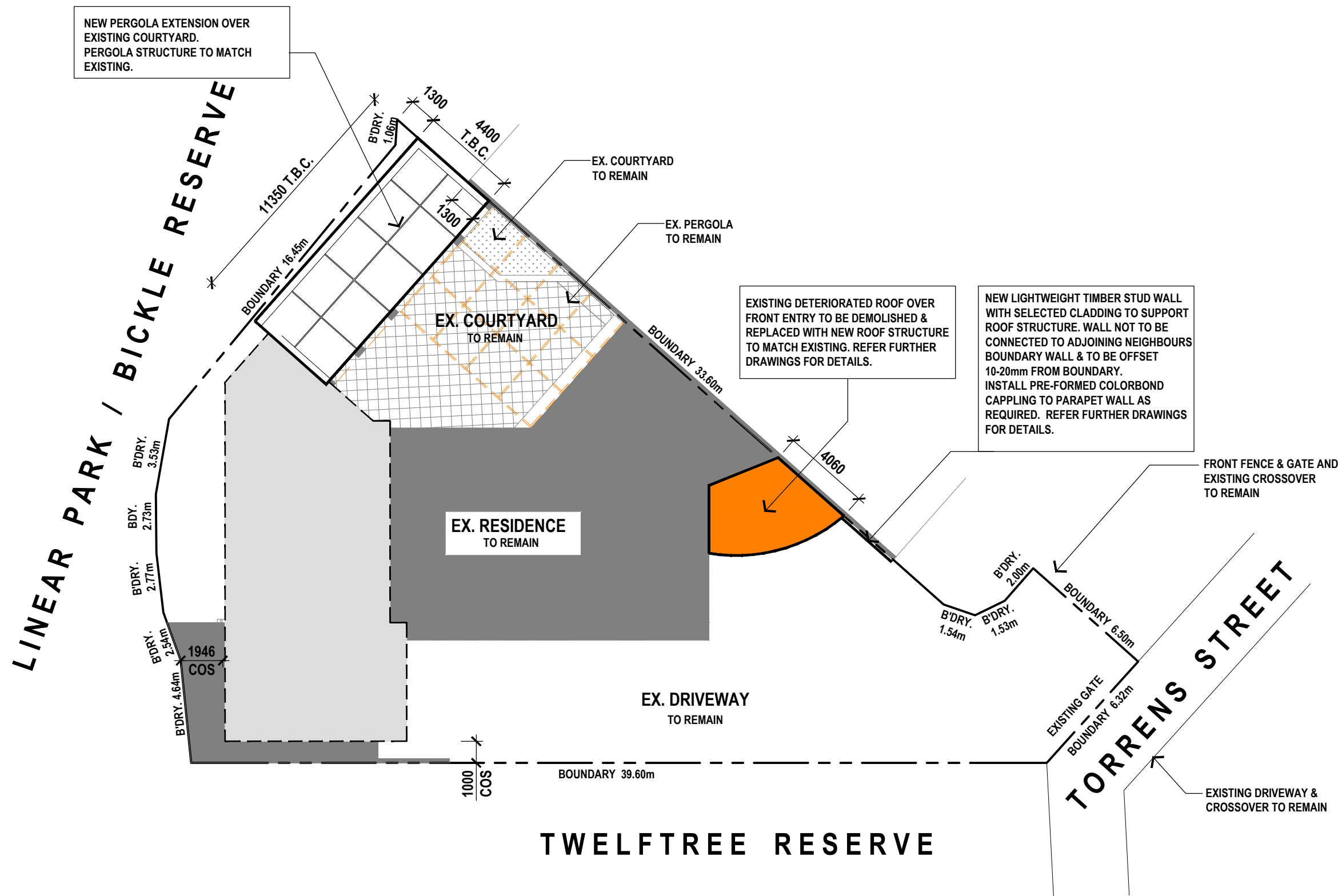
sheet size scale drawn
A3 - GZ/MR

drawing title
GENERAL BUILDING NOTES

project no drawing no revision no
EMI 3911 WD01 A

SITE LEGEND

-  HATCH DENOTES EXTENT OF NEW BUILDING WORK ROOF OVER FRONT ENTRY RECONSTRUCTION
-  HATCH DENOTES EXTENT OF EXISTING UPPER FLOOR
-  HATCH DENOTES EXISTING GROUND LEVEL RESIDENCE



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sheet size A3 scale 1:200 drawn GZ/MR

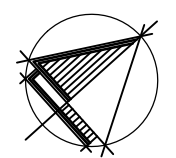
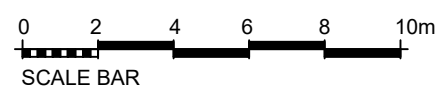
drawing title
SITE PLAN

project no **EMI 3911** drawing no **WD02** revision no **A**

PLANNING CONSENT

SITE PLAN

SCALE 1:200



DEMOLITION NOTES

ANY REMOVAL OF ASBESTOS TO BE CARRIED OUT BY AN APPROVED CONTRACTOR.

ALL DEMOLISHED ITEMS ARE GENERALLY SHOWN DASHED.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATION AND DETAILED SCHEDULES.

IF DEMOLITION OR REMOVAL OF ANY ITEM RELATES TO HAVING POSSIBLE STRUCTURAL IMPLICATIONS, CONSULT THE DESIGNER AND / OR STRUCTURAL ENGINEER FOR ADVISE PRIOR TO CARRYING OUT THE WORK

LOCATE ALL SERVICES AND ASSOCIATED PIPEWORK, DUCTING, CABLING, FIXTURES etc. VERIFY THEIR REMOVAL AND/OR THEIR RELOCATION BEFORE COMMENCEMENT OF ANY BUILDING WORK.

ALL DEMOLITION WORK TO COMPLY WITH AS 2601. COORDINATE ALL WORK WITH ALL RELEVANT TRADES.

VERIFY AND CONFIRM ALL NEW AND EXISTING FLOOR LEVELS PRIOR TO COMMENCEMENT OF ANY BUILDING WORK.

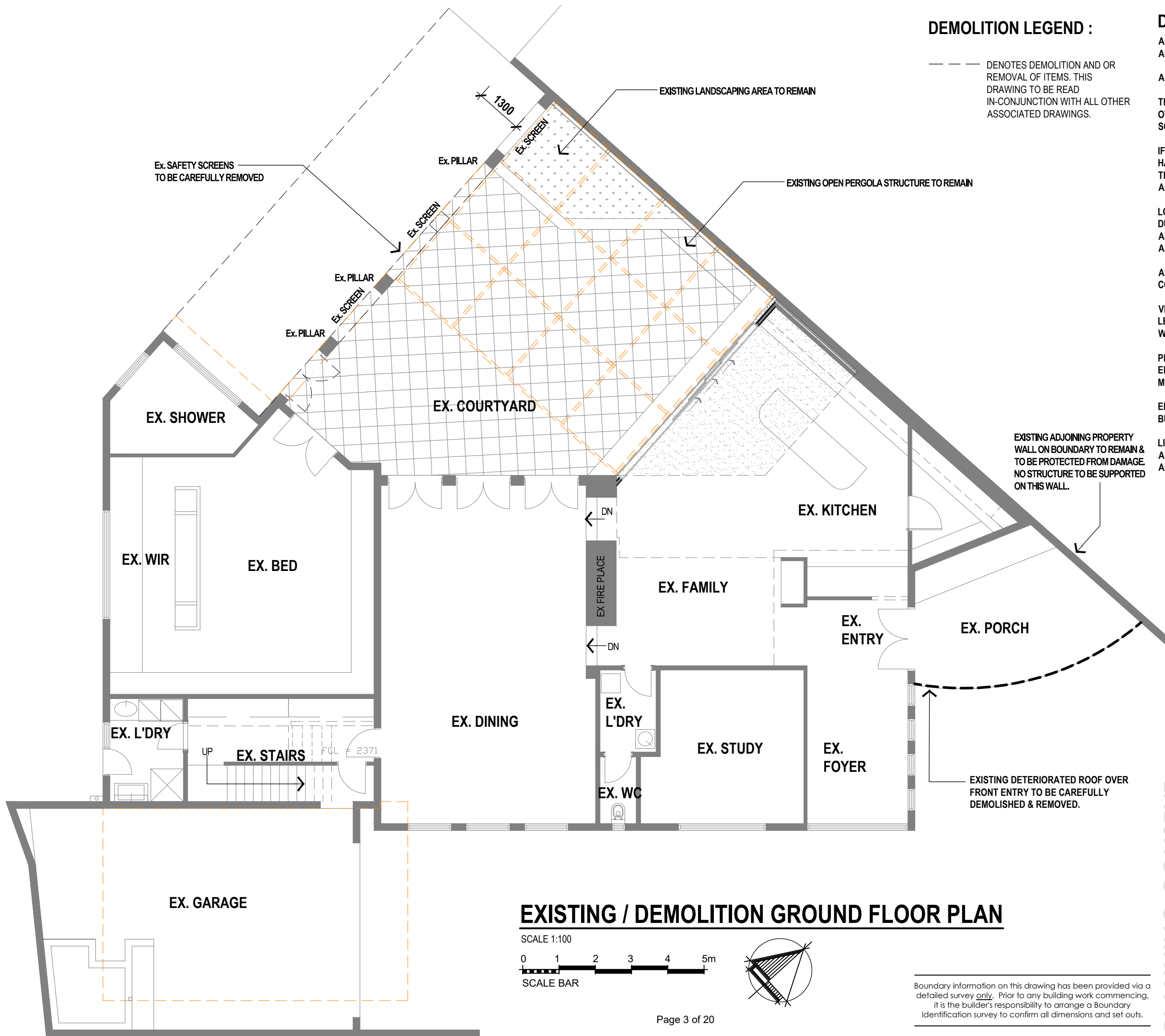
PROTECT ALL EXISTING SURFACES TO BE RETAINED AND ENSURE ANY SURFACES AFFECTED BY DEMOLITION WORK MUST BE MADE GOOD TO MATCH EXISTING.

ERECT NECESSARY HOARDINGS TO PROTECT EXISTING BUILDING ITEMS TO BE RETAINED.

LIASE AND CO-ORDINATE WITH PROPRIETOR REGARDING ANY FURTHER ITEMS OTHER THAN THAT SCHEDULED THAT ARE TO BE RETAINED.

DEMOLITION LEGEND :

--- DENOTES DEMOLITION AND OR REMOVAL OF ITEMS. THIS DRAWING TO BE READ IN-CONJUNCTION WITH ALL OTHER ASSOCIATED DRAWINGS.



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project
EXTENSION OF PERGOLA & ADDITION OF NEW ROOF OVER PORTICO

address
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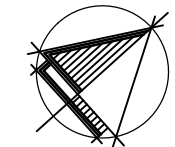
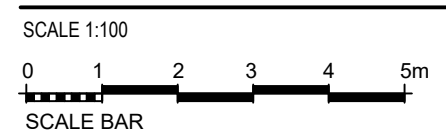
client
Eminent Homes (Tom Pierce)

sheet size A3 scale 1:100 drawn GZ/MR

drawing title
EXISTING GROUND FLOOR PLAN

project no EMI 3911 drawing no WD03 revision no A

EXISTING / DEMOLITION GROUND FLOOR PLAN



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PLANNING CONSENT

DEMOLITION NOTES

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ALL DEMOLISHED ITEMS ARE GENERALLY SHOWN DASHED.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATION AND DETAILED SCHEDULES.

IF DEMOLITION OR REMOVAL OF ANY ITEM RELATES TO HAVING POSSIBLE STRUCTURAL IMPLICATIONS, CONSULT THE DESIGNER AND / OR STRUCTURAL ENGINEER FOR ADVISE PRIOR TO CARRYING OUT THE WORK

LOCATE ALL SERVICES AND ASSOCIATED PIPEWORK, DUCTING, CABLING, FIXTURES etc. VERIFY THEIR REMOVAL AND/OR THEIR RELOCATION BEFORE COMMENCEMENT OF ANY BUILDING WORK.

ALL DEMOLITION WORK TO COMPLY WITH AS 2601. COORDINATE ALL WORK WITH ALL RELEVANT TRADES.

VERIFY AND CONFIRM ALL NEW AND EXISTING FLOOR LEVELS PRIOR TO COMMENCEMENT OF ANY BUILDING WORK.

PROTECT ALL EXISTING SURFACES TO BE RETAINED AND ENSURE ANY SURFACES AFFECTED BY DEMOLITION WORK MUST BE MADE GOOD TO MATCH EXISTING.

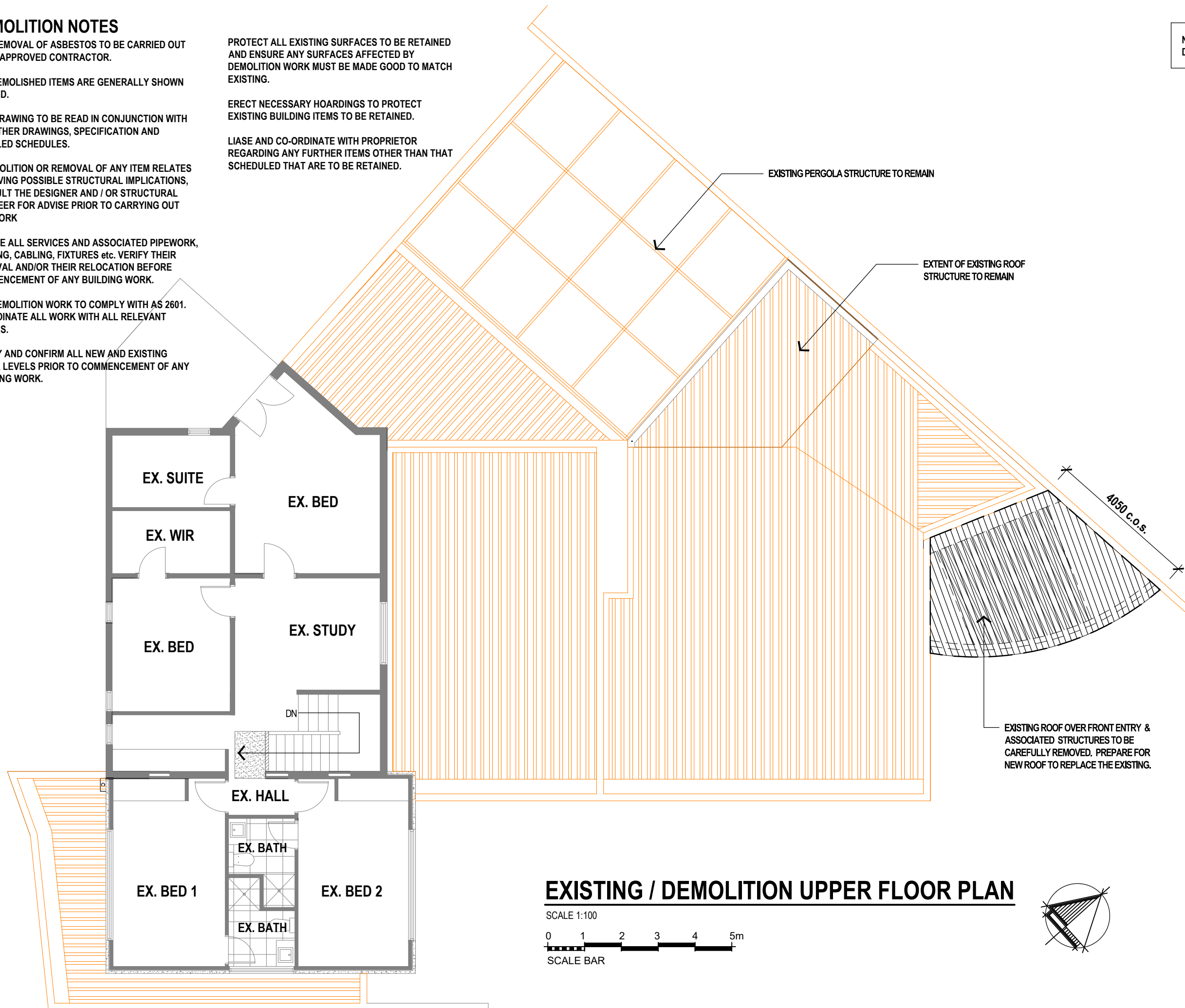
ERECT NECESSARY HOARDINGS TO PROTECT EXISTING BUILDING ITEMS TO BE RETAINED.

LIASE AND CO-ORDINATE WITH PROPRIETOR REGARDING ANY FURTHER ITEMS OTHER THAN THAT SCHEDULED THAT ARE TO BE RETAINED.

NOTE: WHERE EXISTING STRUCTURE ARE TO BE DEMOLISHED, PRE-WETTING IS MANDATORY.

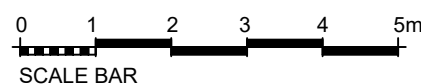
DEMOLITION LEGEND :

--- DENOTES DEMOLITION AND OR REMOVAL OF ITEMS. THIS DRAWING TO BE READ IN-CONJUNCTION WITH ALL OTHER ASSOCIATED DRAWINGS.

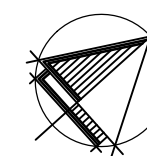


EXISTING / DEMOLITION UPPER FLOOR PLAN

SCALE 1:100



SCALE BAR



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PLANNING CONSENT

project
EXTENSION OF PERGOLA & ADDITION OF NEW ROOF OVER PORTICO

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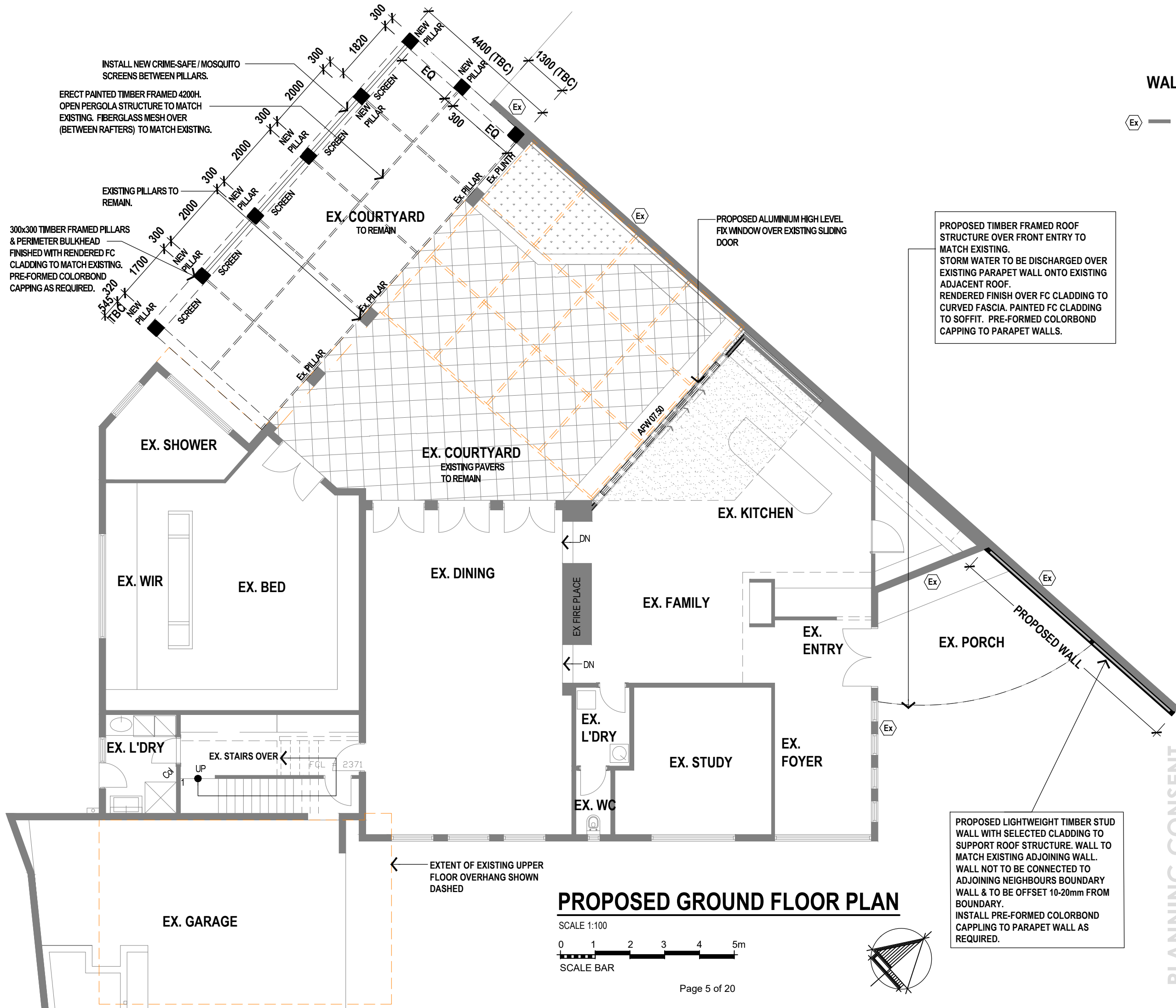
sheet size scale drawn
A3 1:100 GZ/MR

drawing title
EXISTING UPPER FLOOR PLAN

project no drawing no revision no
EMI 3911 WD04 A

WALL LEGEND

Ex — EXISTING WALLS TO REMAIN



PROPOSED TIMBER FRAMED ROOF STRUCTURE OVER FRONT ENTRY TO MATCH EXISTING. STORM WATER TO BE DISCHARGED OVER EXISTING PARAPET WALL ONTO EXISTING ADJACENT ROOF. RENDERED FINISH OVER FC CLADDING TO CURVED FASCIA. PAINTED FC CLADDING TO SOFFIT. PRE-FORMED COLORBOND CAPPING TO PARAPET WALLS.

PROPOSED LIGHTWEIGHT TIMBER STUD WALL WITH SELECTED CLADDING TO SUPPORT ROOF STRUCTURE. WALL TO MATCH EXISTING ADJOINING WALL. WALL NOT TO BE CONNECTED TO ADJOINING NEIGHBOURS BOUNDARY WALL & TO BE OFFSET 10-20mm FROM BOUNDARY. INSTALL PRE-FORMED COLORBOND CAPPING TO PARAPET WALL AS REQUIRED.

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Revision table with columns for revision, description, and date.

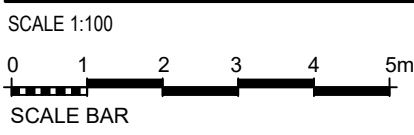


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project EXTENSION OF PERGOLA & ADDITION OF NEW ROOF OVER PORTICO
address 44 Torrens Street, College Park, SA.
client Eminent Homes (Tom Pierce)
sheet size A3 scale 1:100 drawn GZ/MR
drawing title PROPOSED GROUND FLOOR PLAN
project no EMI 3911 drawing no WD05 revision no A

PROPOSED GROUND FLOOR PLAN



PLANNING CONSENT

ROOF DRAINAGE LEGEND

-  DIRECTION OF ROOF FALL & PITCH
-  DIRECTION OF GUTTER FALL
- BG DENOTES 200 x 200 BOX GUTTER, SUPPORTED ON SPANDEK SHEET WITH GALVANISED GUTTER STRAPS @ 600 CTS. 1:200 GRADED FALL. GUTTERS TO BE AS ARROW INDICATES DIRECTION OF FALL.
- ZI SELECTED TRAFFICABLE ZINCALUME ROOF SHEETING (TRIMDEK OR SIMILAR APPROVED) AT 3° PITCH MAX.

ROOF PLAN NOTES:

ROOF LAYOUT IS DIAGRAMMATIC ONLY.

PROVIDE FLASHING TO SEAL ADEQUATELY ALL PENETRATIONS, JUNCTIONS AND JOINTS. INSTALL TRAY FLASHING, ROOF DECK, FLASHING AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. ROOF CONTRACTOR TO ENSURE ROOF IS COMPLETE & WATERTIGHT.

COLORBOND PARAPET CAPPING TO THE TOP OF ALL PARAPET WALLS.

ALL EXTERNAL, EXPOSED FLASHING TO BE ZINCALUME / COLORBOND FINISH AS REQUIRED.

CO-ORDINATE INSTALLATION OF ROOF CLADDING WITH ALL SERVICES TO ALLOW FOR ANY PENETRATIONS.

PROVIDE APPROVED SARKING TO UNDERSIDE OF ROOF CLADDING IN STRICT ACCORDANCE WITH B.C.A. REQUIREMENTS.

ERECT PAINTED TIMBER FRAMED 4200H. OPEN PERGOLA STRUCTURE TO MATCH EXISTING. FIBERGLASS MESH OVER (BETWEEN RAFTERS) TO MATCH EXISTING.
290x42 LOSP TREATED TIMBER RAFTERS WITH PAINT FINISH. COLOUR WHITE TO MATCH EXISTING.

290x42 LOSP TREATED TIMBER BEAM FIXED TO EXISTING STRUCTURE. PAINT FINISH. COLOUR WHITE TO MATCH EXISTING.

300x300 TIMBER FRAMED PILLARS & PERIMETER BULKHEAD FINISHED WITH RENDERED FC CLADDING TO MATCH EXISTING. PRE-FORMED COLORBOND CAPPING AS REQUIRED.

EXISTING BULKHEAD TO REMAIN

EXISTING PERGOLA STRUCTURE TO REMAIN

PRE-FORMED COLORBOND PARAPET CAPPING TO PARAPET WALLS TO MATCH EXISTING

PROPOSED LIGHTWEIGHT TIMBER STUD WALL WITH SELECTED CLADDING TO SUPPORT ROOF STRUCTURE. WALL TO MATCH EXISTING ADJOINING WALL. WALL NOT TO BE CONNECTED TO ADJOINING NEIGHBOURS BOUNDARY WALL & TO BE OFFSET 10-20mm FROM BOUNDARY. INSTALL PRE-FORMED COLORBOND CAPPING TO PARAPET WALL AS REQUIRED.

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| A | ISSUE FOR APPROVAL | GZ | 29/05/23 |
| PR1 | ISSUE FOR REVIEW | GZ | 01/05/23 |
| rev | details | drn | date |



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project
EXTENSION OF PERGOLA & ADDITION OF NEW ROOF OVER PORTICO

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College Park, SA.

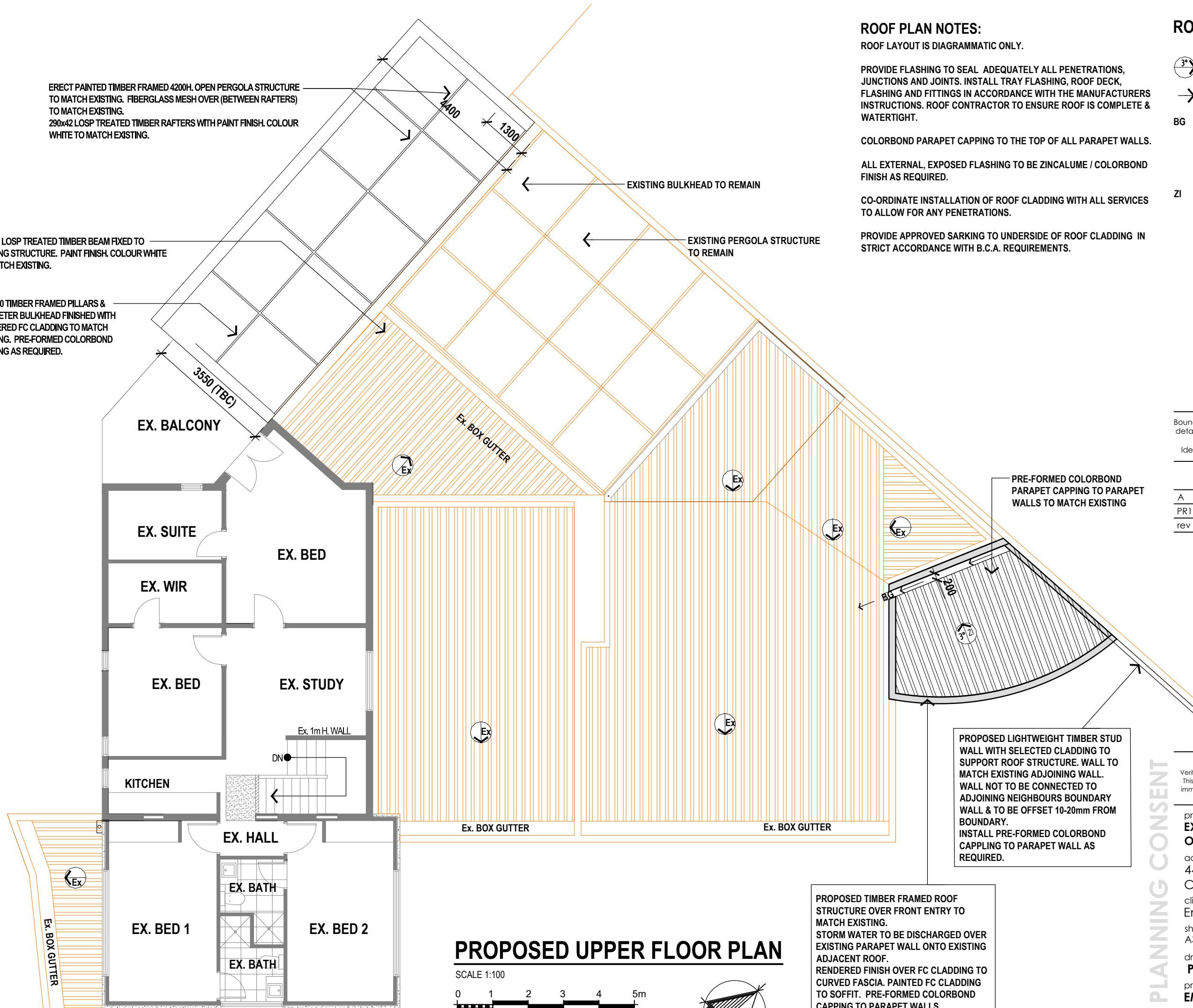
client
Eminent Homes (Tom Pierce)

sheet size A3 scale 1:100 drawn GZ/MR

drawing title
PROPOSED UPPER FLOOR PLAN

project no EMI 3911 drawing no WD06 revision no A

PLANNING CONSENT

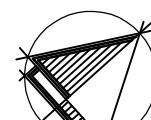


PROPOSED UPPER FLOOR PLAN

SCALE 1:100



SCALE BAR

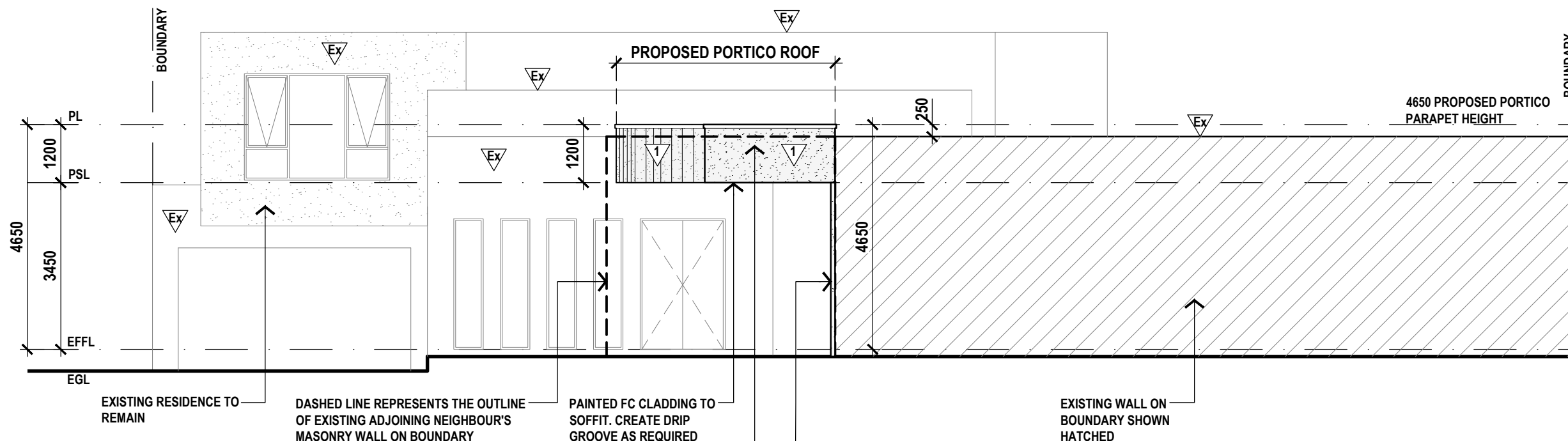


LEGEND

| | |
|------|-------------------------------|
| ECL | EXISTING CEILING LEVEL |
| EFFL | EXISTING FINISHED FLOOR LEVEL |
| EGL | EXISTING GROUND LEVEL |
| PL | PROPOSED PARAPET LEVEL |
| PSL | PROPOSED SILL HEIGHT |
| HH | HEAD HEIGHT |
| TBC | TO BE CHECK |

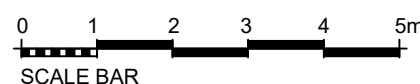
FINISHES SECHDULE

- 1 SELECTED NEW RENDER FINISH TO PROPOSED EXTERNAL WALLS TO MATCH EXISTING
- 2 SELECTED NEW POWDER COATED WINDOW AND DOOR JOINERY TO MATCH EXISTING
- Ex EXISTING WALLS



NORTH ELEVATION

SCALE 1:100



PROPOSED TIMBER FRAMED ROOF STRUCTURE OVER FRONT ENTRY TO MATCH EXISTING. STORM WATER TO BE DISCHARGED OVER EXISTING PARAPET WALL ONTO EXISTING ADJACENT ROOF. RENDERED FINISH OVER FC CLADDING TO CURVED FASCIA. PAINTED FC CLADDING TO SOFFIT. PRE-FORMED COLORBOND CAPPING TO PARAPET WALLS.

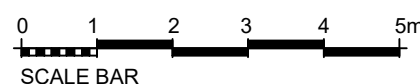
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EAST ELEVATION

SCALE 1:100



PROPOSED LIGHTWEIGHT TIMBER STUD WALL WITH SELECTED CLADDING TO SUPPORT ROOF STRUCTURE. WALL TO MATCH EXISTING ADJOINING WALL. WALL NOT TO BE CONNECTED TO ADJOINING NEIGHBOURS BOUNDARY WALL & TO BE OFFSET 10-20mm FROM BOUNDARY. INSTALL PRE-FORMED COLORBOND CAPPING TO PARAPET WALL AS REQUIRED.

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project
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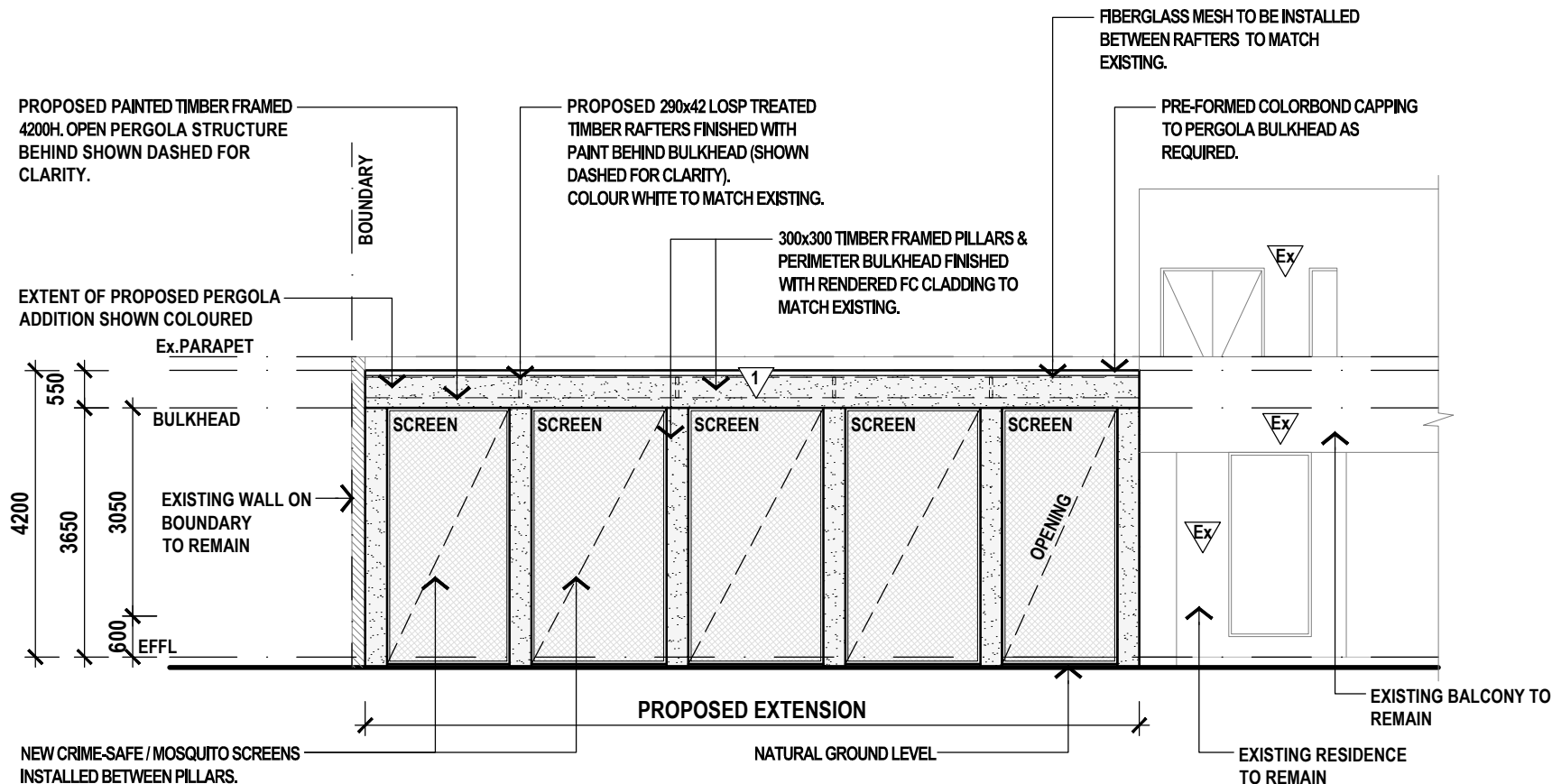
client
Eminent Homes (Tom Pierce)

sheet size scale drawn
A3 1:100 GZ/MR

drawing title
ELEVATION (SHEET 1 OF 2)

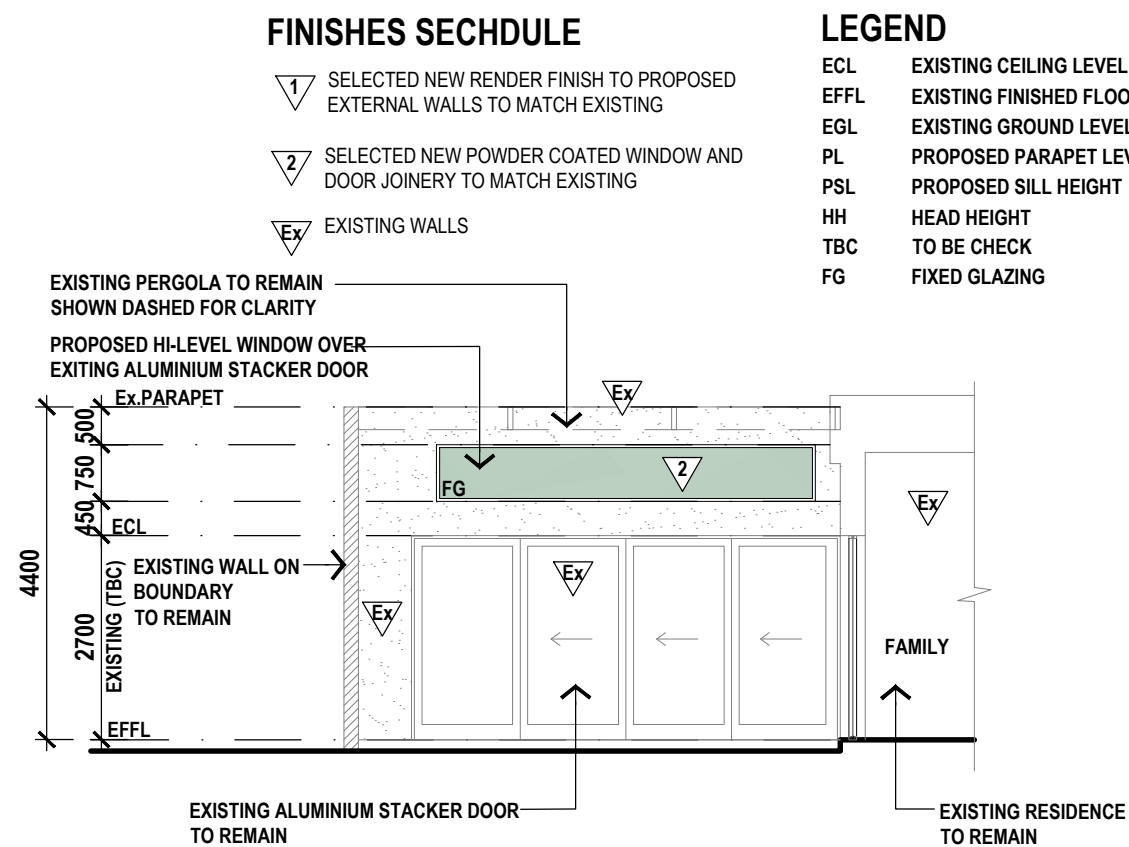
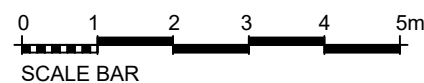
project no drawing no revision no
EMI 3911 WD07 A

PLANNING CONSENT



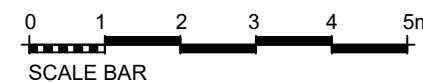
NORTH WEST ELEVATION - PERGOLA VIEW

SCALE 1:100



NORTH WEST ELEVATION - KITCHEN VIEW

SCALE 1:100



FINISHES SECHDULE

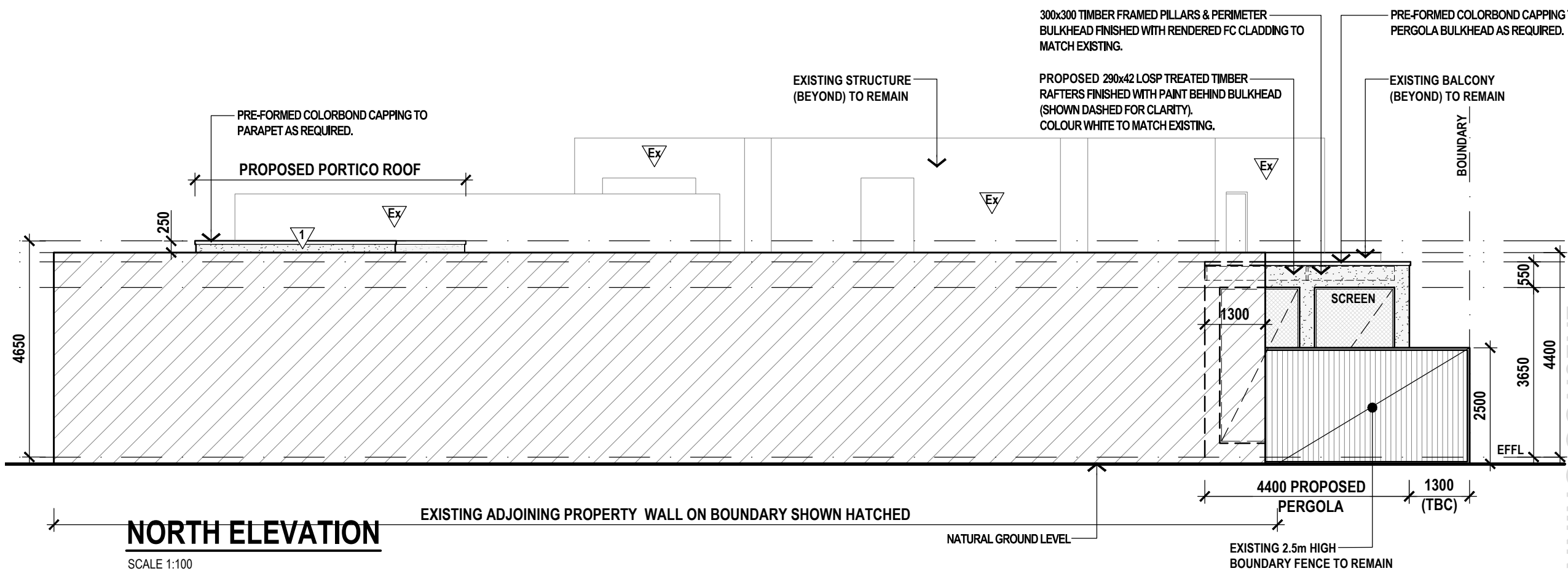
- 1 SELECTED NEW RENDER FINISH TO PROPOSED EXTERNAL WALLS TO MATCH EXISTING
- 2 SELECTED NEW POWDER COATED WINDOW AND DOOR JOINERY TO MATCH EXISTING
- Ex EXISTING WALLS

LEGEND

- ECL EXISTING CEILING LEVEL
- EFFL EXISTING FINISHED FLOOR LEVEL
- EGL EXISTING GROUND LEVEL
- PL PROPOSED PARAPET LEVEL
- PSL PROPOSED SILL HEIGHT
- HH HEAD HEIGHT
- TBC TO BE CHECK
- FG FIXED GLAZING

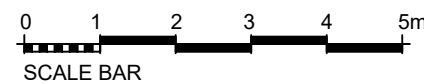
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|-----|-------------------------|-----|----------|
| B | ADDITION OF NORTH ELEV. | MR | 07/07/23 |
| A | ISSUE FOR APPROVAL | GZ | 29/05/23 |
| PR1 | ISSUE FOR REVIEW | GZ | 01/05/23 |
| rev | details | drn | date |



NORTH ELEVATION

SCALE 1:100



PLANNING CONSENT



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project
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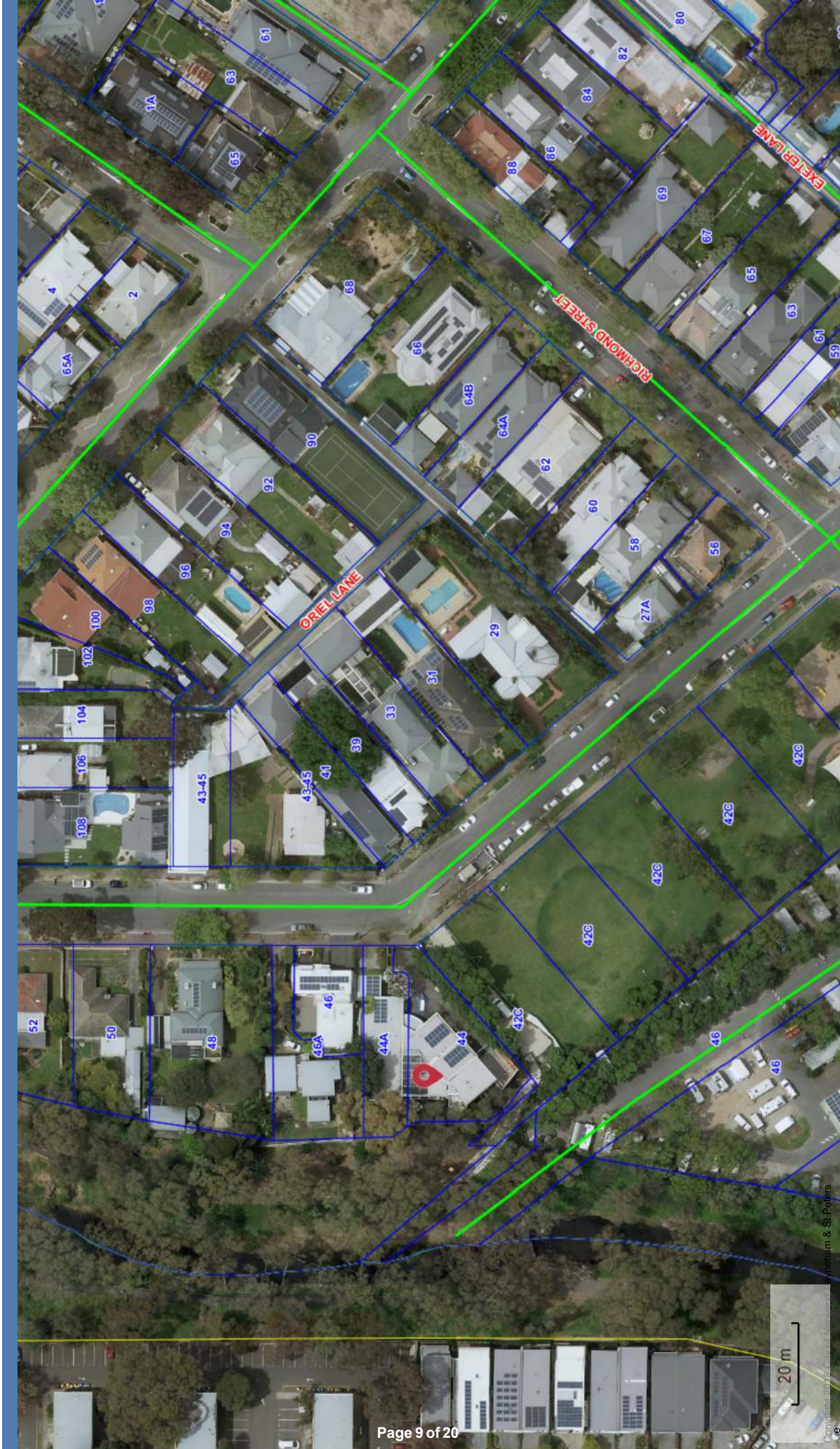
address
44 Torrens Street,
College Park, SA.

client
Eminent Homes (Tom Pierce)

sheet size A3 scale 1:100 drawn GZ/MR

drawing title
ELEVATION (SHEET 2 OF 2)

project no EMI 3911 drawing no WD08 revision no B



Disclaimer

This map is a representation of the information current held by The City of Norwood, Payneham & St Peters. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Data Acknowledgement: Property, Road & Administrator Boundaries - Supplied by Department Environment & Heritage (DEH)

Contact Details

175 T
Parade, Norwood
South
P. 08
66 4353 F. 08 6332 6338
E: town_all@npsp.sa.gov.au

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Date created:
August 11, 2023

Attachment 3 - Zoning Map



Government
of South Australia
Land Services Group



Application Summary

| | |
|----------------|---|
| Application ID | 23012869 |
| Proposal | Alterations and additions to an existing dwelling comprising the construction of a front entry verandah and the extension of an existing rear pergola |
| Location | 44 TORRENS ST COLLEGE PARK SA 5069 |

Representations

Representor 1 - David Aslop

| | |
|--|---|
| Name | David Aslop |
| Address | 219 Sturt Street ADELAIDE SA, 5000 Australia |
| Submission Date | 30/06/2023 11:58 AM |
| Submission Source | Online |
| Late Submission | No |
| Would you like to talk to your representation at the decision-making hearing for this development? | Yes |
| My position is | I oppose the development |
| Reasons refer attached | |

Attached Documents

Representation-against-44-Torrens-St-V2-1241695.pdf



30 June 2023

Mr Geoff Parsons
Norwood, Payneham and St Peters Council
175 The Parade
NORWOOD SA 5067

Dear Geoff,

Re: 23012869 44 Torrens Street, College Park

We write on behalf of Mr David Aslop, the land owner of 44A Torrens Street and who objects to the proposed development at the abovementioned site. Mr Aslop is supportive in principle to his neighbour's desire to pursue further development of their site however, he has formed the view, the following issues require further attention and resolution.

My understanding of the site and locality is as follows:

- The subject land is irregular in shape and has a narrow frontage of 5.8m to Torrens Street.
- The site is relatively flat and retains a two storey dwelling positioned toward the rear of the site (where it flares out), with components of the dwelling sited on the western side boundary (shared with 44A).
- The extent of boundary development includes an existing kitchen that extends almost 10m along the boundary, together with an existing courtyard structure, which is closer to 8m in length. The existing porch also extends to the western boundary for a length of 4m. In total, there is 22m of boundary development.
- The courtyard structure is not an approved structure and is not considered to comply with Schedule 4, Clause 5 c) *the construction of a pergola or similar structure designed to provide shade associated with an existing dwelling (whether attached to the building or freestanding)—*
 - (i) which does not have a solid roof;*
 - and (ii) each freestanding side of which is open (that is, not enclosed with a solid material);*
 - and (iii) no part of which is higher than 4 m above the ground;*
 - and (iv) which is not being constructed so that any part of the pergola or structure will be in front of any part of the building line of the dwelling to which it is ancillary that faces the primary street.*
- The structure exceeds 4m in height (approximately 4.6m in height), fails to comply with the above exemption and therefore, technically requires development approval from Council.

The proposal

- Includes a new pergola structure to be positioned on the western boundary for a length of 3.38, new lightweight timber stud wall of 3m in length to be setback 10-20mm from the western boundary (at the front of the property).

Our interpretation of the Planning and Design Code and the proposed development is as follows:

- With regard to PO 4.1 of the Established Neighbourhood Zone, the pergola structure proposed, together with the existing courtyard are not considered to respond appropriately in height with existing ancillary buildings within the locality. The excessive height of the structures is considered to create visual impact on Mr Aslop's property.
- Minimising impact from boundary development is sought with PO 7.1 of the Zone. In this regard, the pergola structures could be reduced in height and or the expanse of boundary development could be reduced. Another potential solution could be to setback the structures from the western boundary and create some visual relief.
- Further to the above, the extent of boundary development is almost 70% of the western boundary (not including the new timber stud wall). The 70% boundary development is considered excessive and well above the 45% contemplated in the DTS 7.1. This should be substantially reduced.
- PO 8.1 seeks for setbacks from side boundaries to complement the established character of the locality. Although we concede the development will have minimal impact upon the streetscape, this policy further supports the above arguments in that, the structures proposed are considered to visually impact upon Mr Aslop's property and greater separation from the structures to the boundary would mitigate some of this impact.
- With regard to PO 11.1, the proposed structures height well exceeds the 3m max wall height contemplated in DTS 11.1. Therefore, we contend the proposed development detracts from the appearance of development on Mr Aslop's land. A 4.2m high pergola, which is closer to 4.6m, is well above the DTS max height desired.
- PO 2.2 and 2.4 of the 'Character Overlay' seek for development to respond to prevailing building and wall heights and are consistent with side setbacks. We contend the building heights proposed are not compatible with other ancillary structures within this locality nor is the extent of boundary wall development. There is some boundary development within the locality (excluding the poor development at 45 Torrens Street) however, not to the extent proposed of 70% along one side boundary.

Conclusion

In summary, we contest the above issues should be addressed with amendments to the proposal that reduce the impacts on Mr Aslop's land. If amendments are not pursued then the proposal arguably warrants refusal.

We desire to speak in support of our representation at a future Council Assessment Panel meeting.

Should you require any further information please contact me on 0431022245 or email john@planningchambers.com.au.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'John Mason', with a long horizontal flourish extending to the right.

John Mason
Senior Associate

7 July 2023

City of Norwood Payneham and St Peters
Council Assessment Panel
Via: PlanSA Portal

Attention: Geoff Parsons, Assessment Manager

Dear Geoff

**Re: Development Application ID: 23012869
Response To Representation**

MasterPlan has been engaged by Susan Pierce the owner and occupier of the property at 44 Torrens Street, College Park to respond to the representation received following the public notification of the application that was lodged on her behalf.

We note that one (1) representation was received as a result of the public notification of the proposed development, from the owner of the adjoining property at 44a Torrens Street located immediately to the north of the subject property.

The representation was supported by correspondence prepared by Planning Chambers expressing their planning opinion of the proposed development and concluding that the proposed structure results in an excessive height and length that has an unacceptable visual impact on the adjoining property.

Both the properties at 44 and 44a are orientated such that the rear boundaries of the properties abut the adjacent Torrens linear park to the west enjoying unrestricted views of the public open space.

The representors property at 44a Torrens Street has a 25-metre-long, 4.4-metre-high boundary wall abutting our clients shared northern boundary. This portion of the shared boundary measures 33.60 metres in length and accordingly the neighbouring property enjoys a boundary wall that occupies approximately 74 per cent of the common boundary. Approximately 9.0 metres of that boundary wall is located adjacent to our client's existing private open space.



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ISO 90012015 Certified
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53526LET01



Image 1: View looking north of existing boundary wall (44a) and existing pergola from private open space at 44 (Source Client Photo).

Our client's rear boundary fence is located approximately 2.3 metres to the west of the end of that existing boundary wall separated from the neighbour's property by a timber slat fence.



Image 2: View looking west of dividing fence from within 44a (Source Realestate.com Harris listing 2022).

The proposed pergola structure represents a consistent and coordinated extension of the existing pergola frame. The pergola extends 4.4 metres to the west of the existing pergola and 3.1 metres beyond the length of the neighbour's boundary wall.



Image 3: View looking north of pergola structure with Neighbouring Boundary wall (44a) beyond (Source: Site Inspection Photo).

The pergola does not extend above the height of the neighbour's boundary wall.

The pergola has two (2) pillars 300 millimetres square on the boundary, visible from the neighbouring property together with a top cross beam that matches the height of the neighbour's boundary wall. The openings between the pillars are infilled with mesh mosquito screens.

In planning terms, the proposed structure represents pergola, being an unroofed frame or structure with columns supporting a trellis of timber above.

A pergola or similar structure which does not have a roof and has open sides is excluded from the definition of development (Schedule 4 Clause 4(5)(c)) if no part of the structure exceeds 4.0 metres in height.

Accordingly, the only reason the proposed development requires approval is the fact that the structure has a height of 4.2 metres (exceeding the exclusion height by a mere 200 millimetres).

In terms of assessment against the relevant provisions of the Planning and Design Code, PO 7.1 of the Established Neighbourhood Zone is not applicable in that the proposed development does not involve the construction of a boundary wall.

Zone PO 11.1 for the siting and design of Ancillary Buildings and Structures is the most relevant provision



which reads:

PO 11.1 Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.

The length of this structure, 4.4 metres does not exceed the acceptable boundary length of 8.0 metres (DPF 11.1 clause e) and is only visible for approximately 3.1 metres beyond the length of the neighbouring properties boundary wall.

While the structure exceeds 3.0 metres in height (DPF 11.1 clause h) the overall height of the structure does not exceed the acceptable maximum height for a roofed structure of 5.0 metres and only marginally exceeds the 4.0 metre height of a structure which would otherwise not require approval being excluded from the definition of development.

Accordingly, when considering that the structure could be built without approval if it was 200 millimetres lower, it is considered that the siting and design of the pergola does not result in a visual impact that would detract from the appearance of buildings when viewed from neighbouring properties.

Furthermore, the ancillary structure has a height of 4.2 metres to match the height of the existing pergola and height of the neighbouring boundary wall, and accordingly responds to the prevailing building and wall heights in the immediate context of the site satisfying the PO2.2 and PO2.4 of the Character area Overlay.

Having regard to the relevant policies of the Planning and Design Code in the context of the site and locality, and the *Planning Development and Infrastructure (General) Regulations* exclusions from the definition of development, it is considered that the proposed structure is appropriate and warrants approval.

Can you please advise me of the time and date of the Council Assessment Panel meeting at which this matter will be determined so that we may attend on behalf of our client and respond to any verbal submissions that may be made to the Panel?

Yours sincerely

Greg Vincent
MasterPlan SA Pty Ltd

cc: Susan Pierce

6. **DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT**
7. **REVIEW OF ASSESSMENT MANAGER DECISIONS**
8. **ERD COURT APPEALS**
9. **OTHER BUSINESS**
(Of an urgent nature only)
10. **CONFIDENTIAL REPORTS**
11. **CLOSURE**